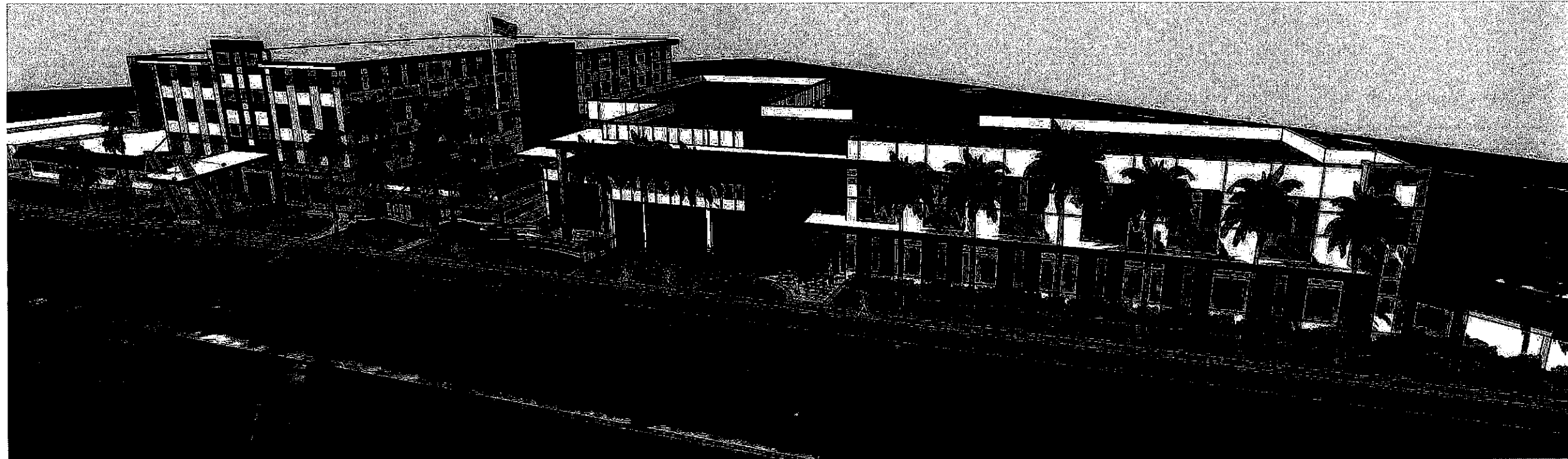


AMOP Member Services Building

2 Dixie Highway, Dania Beach, FL 33004

For
American Maritime Officers Plans



Project Consultants:

CIVIL, LANDSCAPE, & IRRIGATION:

Chen Moore and Associates
ENGINEERS-PLANNERS
155 S MIAMI AVE., PH II-A MIAMI, FL. 33130
Phone: 786-497-1500 FAX: 786-497-2300

MEP:

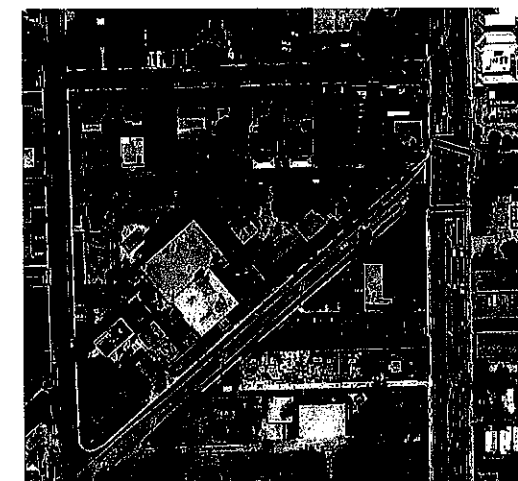
OCI Associates, Inc.
MECHANICAL, PLUMBING & ELECTRICAL ENGINEER
427 Center Point Circle, Suite 1225 Altamonte Springs, Florida 32701
Phone: 1-407-332-5110

STRUCTURAL:

Andrew Morgan Services
STRUCTURAL ENGINEER
513 US1, Suite 109 - North Palm Beach - FL - 33408
Phone: 561-881-8999

FOOD SERVICE:

MERLINO ASSOCIATES, LLC
2645 Ravello Avenue, Palm Beach Gardens, FL 33410
Phone: 561-625-6060



- SITE PLAN APPROVAL ONLY -

CONSTRUCTION DOCUMENTS

11/20/14

HJ Project #: 13083

- Site Plan Approval Package - Re-Submittal February 5, 2015

HARVARD JOLLY

Architecture - Interior Design - Programming - Planning - Landscape - Program Management
Custom County | West Palm Beach | FL 33411 | 561-447-7777 | Jacksonville | FL 32202 | 904-447-7777 | Ft. Lauderdale | FL 33304 | 954-447-7777 | Miami | FL 33130 | 305-447-7777 | Palm Beach Gardens | FL 33410 | 561-447-7777 | Design Office Location: 2047 Vista Parkway, Ste.100, West Palm Beach, FL, 33411, Ph: 561.475.4457

BOUNDARY & TOPOGRAPHIC SURVEY

- Last day of field work was performed on March 9, 2015.
- Avino & Associates, Inc. and certifying Land Surveyor accept no responsibility for Rights-of-Way, Easements, Restrictions of Record or other matters affecting title to lands surveyed other than those recited in current Deed and/or other instruments of record furnished by Client.
- North Arrow and Bearings as shown hereon are based on an assumed value of S01°21'30"E along the centerline of South Federal Highway (State Road 5).
- By scaled determination the subject property appears to lie in Flood Zone X, as per Federal Emergency Management Agency (FEMA) Community-Panel Number 120034, Map No. 12011C0567, Suffix H, Revised Date: 08-18-2014. An accurate Zone determination should be made by the preparer of the map, the Federal Emergency Management Agency, or the Local Government Agency having jurisdiction over such matters prior to any judgments being made from the Zone as noted. The referenced Federal Emergency Management Agency Map states in the notes to the user that "this map is for insurance purposes only".

5. The vertical control element of this survey was derived from the National Geodetic Vertical Datum (1929 NGVD).

Benchmark Identification:
Broward County Benchmark: 1131
Elevation: 7.710 feet (National Geodetic Vertical Datum, 1929 NGVD)
Description:

"Square" cut on south side of 3.5' wide concrete sidewalk, 6'(±) West of entrance door at 602 West Stirling Road (Jack's auto parts).
B.M. found 4-11-2000 note: Jack's Auto Parts is now "Furniture Liqui-Dators".

Benchmark Identification:
Broward County Benchmark: 1132
Elevation: 10.910 feet (National Geodetic Vertical Datum, 1929 NGVD)
Description:

"Square" cut in Northeast corner of 6'x10' concrete entrance slab to Lions Club in Southeast corner of intersection of Southwest 5th Street and Southwest 4th Avenue, Dania.
B.M. found 4-11-2000.

6. The Survey depicted herein is not intended to show the location or existence of any Wetland or Jurisdictional areas, or areas of protected species of vegetation either natural or cultivated.

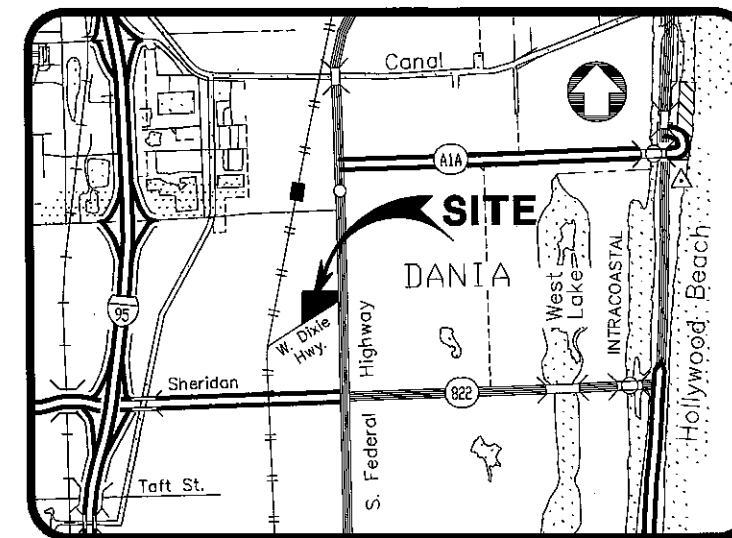
7. Any use of this Survey for purposes other than which it was intended, without written verification, will be at the user's sole risk and without liability to the surveyor. Nothing herein shall be construed to give any rights or benefits to anyone than those certified to.

8. The minimum relative distance accuracy for this type of Survey is 1 foot in 10,000 feet. The accuracy obtained by measurement and calculation of closed geometric figures was found to exceed this requirement. Well-identified features as depicted on the Survey Map were measured to an estimated horizontal positional accuracy of 1/10 foot.

9. Since no other information other than what is cited in the Sources of Data were furnished, the Client is hereby advised that there may legal restrictions on the Subject Property that are not shown on the Survey Map or contained within this Report that may be found in the Public Records of Broward County, or the records of any other public and private entities as their jurisdictions may appear. The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity or individual who may appear of public record.

No excavation or determination was made as to how the Subject Property is served by utilities. No improvements were located, other than those shown. No underground foundations and/or improvements were located or shown hereon. This notice is required by the Standards of Practice Requirements as set forth in Rule 5J-17, Florida Administrative Code, as adopted by the Florida Board of Surveyors and Mappers pursuant to 472.027, Florida Statutes.

Notice is hereby given that Sunshine State One Call of Florida, Inc. must be contacted at 1-800-432-4770 at least 48 hours in advance of any construction, excavation or demolition activity within, upon, abutting or adjacent to the Subject Property. This Notice is given in compliance with the "Underground Facility Damage Prevention and Safety Act," pursuant to Chapter 556.101-111 of the Florida Statutes.



VICINITY MAP
NOT TO SCALE

LEGAL DESCRIPTION:

Lot 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18 and 19, of "MAGNOLIA PARK", according to the Plat thereof, as recorded in Plat Book 2, at Page 24, of the Public Records of Broward County, Florida, TOGETHER WITH the South 1/2 of that part of S.W. 7th Terrace lying between the East Right-of-Way Line of S.W. 2nd Avenue and the Northwesterly extension of the Northwesterly Right-of-Way Line of Old Dixie Highway and known as "Internal Alley", all more particularly described as follows:

COMMENCE at Northwest Corner of Lot 13 of "MAGNOLIA PARK", according to the plat thereof as recorded in Plat Book 2, at Page 24, of the Public Records of Broward County, Florida; thence run N01°58'53"W along the East Right-of-Way Line of S.W. 2nd Avenue for a distance of 15.00 feet to a point being on the Centerline of S.W. 7th Terrace (also known as "Internal Alley") and also being the POINT OF BEGINNING; thence run N87°58'05"E along said Centerline of S.W. 7th Terrace for a distance of 587.79 feet to a point being on the Northwesterly extension of the Northwesterly Right-of-Way Line of Old Dixie Highway (West Dixie Highway); thence run S48°39'31"W along the said Northwesterly Right-of-Way Line of Old Dixie Highway (West Dixie Highway) for a distance of 23.68 feet to a point being the Northeast Corner of Lot 12 of said "MAGNOLIA PARK"; thence run and continue S48°39'31"W along the said Northwesterly Right-of-Way Line of Old Dixie Highway (West Dixie Highway) for a distance of 704.85 feet to a point of curvature of a curve concave to the Northeast and having for its elements a radius of 15.00 feet, a central angle of 129°21'37" and an arc distance of 33.87 feet to a point of tangency; thence run N01°58'53"W along the East Right-of-Way Line of S.W. 2nd Avenue for a distance of 434.91 feet to a point being the Northwest Corner of Lot 13 of said "MAGNOLIA PARK"; thence run and continue N01°58'53"W along the East Right-of-Way Line of S.W. 2nd Avenue for a distance of 15.00 feet to the POINT OF BEGINNING, containing 141,323 square feet (3.24 acres±).

CERTIFIED TO:

AMERICAN MARITIME OFFICERS PLANS

SURVEYORS CERTIFICATE:

This is to certify to the herein named firm and/or persons that the "BOUNDARY SURVEY" of the herein described property is true and correct to the best of our knowledge and belief as surveyed and plotted under our direction on June 26, 2006. I further certify that this survey meets the Standards of Practice Requirements as set forth in Rule 5J-17, Florida Administrative Code, as adopted by the Florida Board of Professional Surveyor and Mappers pursuant to 472.027 Florida Statute.

NOTICE: Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to Survey Maps by other than the signing party are prohibited without the written consent of the signing party.

PLOT DATE: 03/23/2015

© 2015 AVINO & ASSOCIATES, INC. ALL RIGHTS RESERVED. DESIGNER HEREBY EXPRESSLY RESERVES HIS COPYRIGHT & OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS & DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING WRITTEN PERMISSION AND CONSENT OF AVINO & ASSOCIATES, INC., NOR ARE THEY TO BE ASSIGNED TO ANY PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

ACAD FILE: Arno Complex Survey Update & Legal.dwg

MARK	DATE	REVISIONS
	02-07-2014	UPDATE SURVEY
	01-29-2015	UPDATE SURVEY
	03-23-2015	UPDATE SURVEY & LEGAL DESCRIPTION

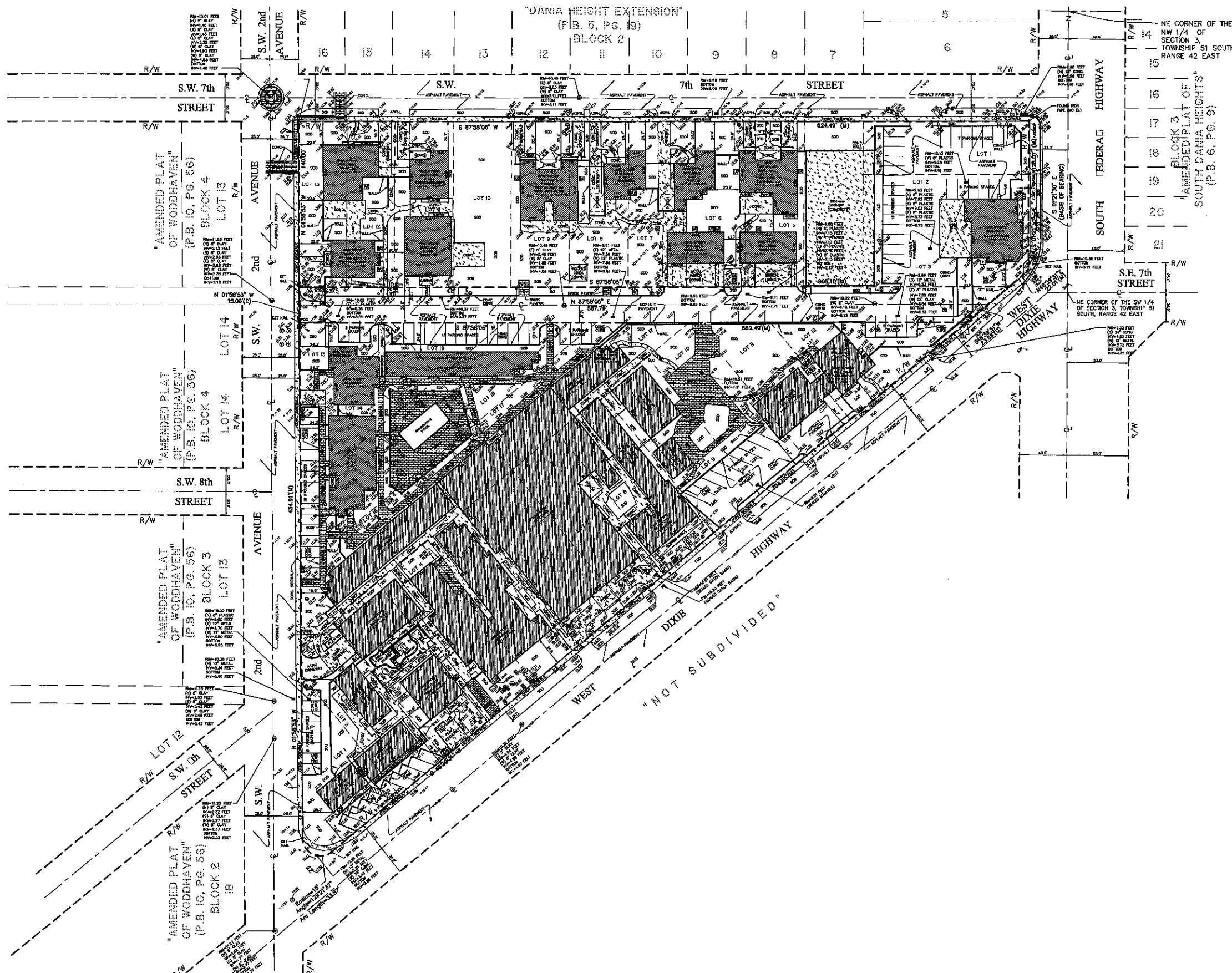
BOUNDARY AND TOPOGRAPHIC SURVEY
AMERICAN MARITIME ORGANIZATION
DANIA BEACH, FLORIDA

AMERICAN MARITIME OFFICERS PLANS
2 WEST DIXIE HIGHWAY
DANIA BEACH, FLORIDA 33004
954-920-4247



1350 S.W. 57TH AVENUE, SUITE 207
WEST MIAMI, FLORIDA 33144
TEL: (305) 265-5030
FAX: (305) 265-5033
EB # 5098 LB # 5098
E-MAIL: JRAVINO@AVINOANDASSOCIATES.COM

SEAL	DRAWN BY: JRA	SHEET
	CHECKED BY: JRA	
	APPROVED BY: JRA	
	DATE: 03/23/2015	
	SCALE: AS SHOWN	
	JOB No.: 06131.01	
	JORGE R. AVINO, P.E.# 22072, P.L.S.# 4996	1 OF 2



LEGEND

- Metal Light Pole
- Guy Wire
- Utility Power Pole
- Fire Hydrant
- Water Meter
- Electric Box
- Telephone Box
- Sewer Manhole
- Traffic Sign
- Catch Basin
- Drainage Manhole
- Overhead Utility Lines
- Light Pole
- Gas Valve
- Water Valve
- Water Manhole
- Telephone Manhole
- Unknown Manhole
- Spot Elevation
- T.B.M. - Temporary Bench mark
- Diameter-Spread-Height
- Right of Way Lines

ABBREVIATIONS

- R/W Right-of-Way Line
- P/L Property Line
- (M) Measured
- (C) Calculated
- POC Point of Commencement
- POB Point of Beginning
- I.D. Identification
- C.S. Concrete Slab
- C.B.S. Concrete Block Structure
- € Center Line
- § Survey Line
- P.B. Plat Book
- PG. Page
- ASPH. Asphalt
- CONC. Concrete
- DWY. Driveway
- INV. Inverts

PLOT DATE: 03/23/2015

MARK	DATE	REVISIONS
	02-07-2014	UPDATE SURVEY
	01-29-2015	UPDATE SURVEY
	03-23-2015	UPDATE SURVEY & LEGAL DESCRIPTION

BOUNDARY AND TOPOGRAPHIC SURVEY
AMERICAN MARITIME ORGANIZATION
DANIA BEACH, FLORIDA

AMERICAN MARITIME OFFICERS PLANS
2 WEST DIXIE HIGHWAY
DANIA BEACH, FLORIDA 33004
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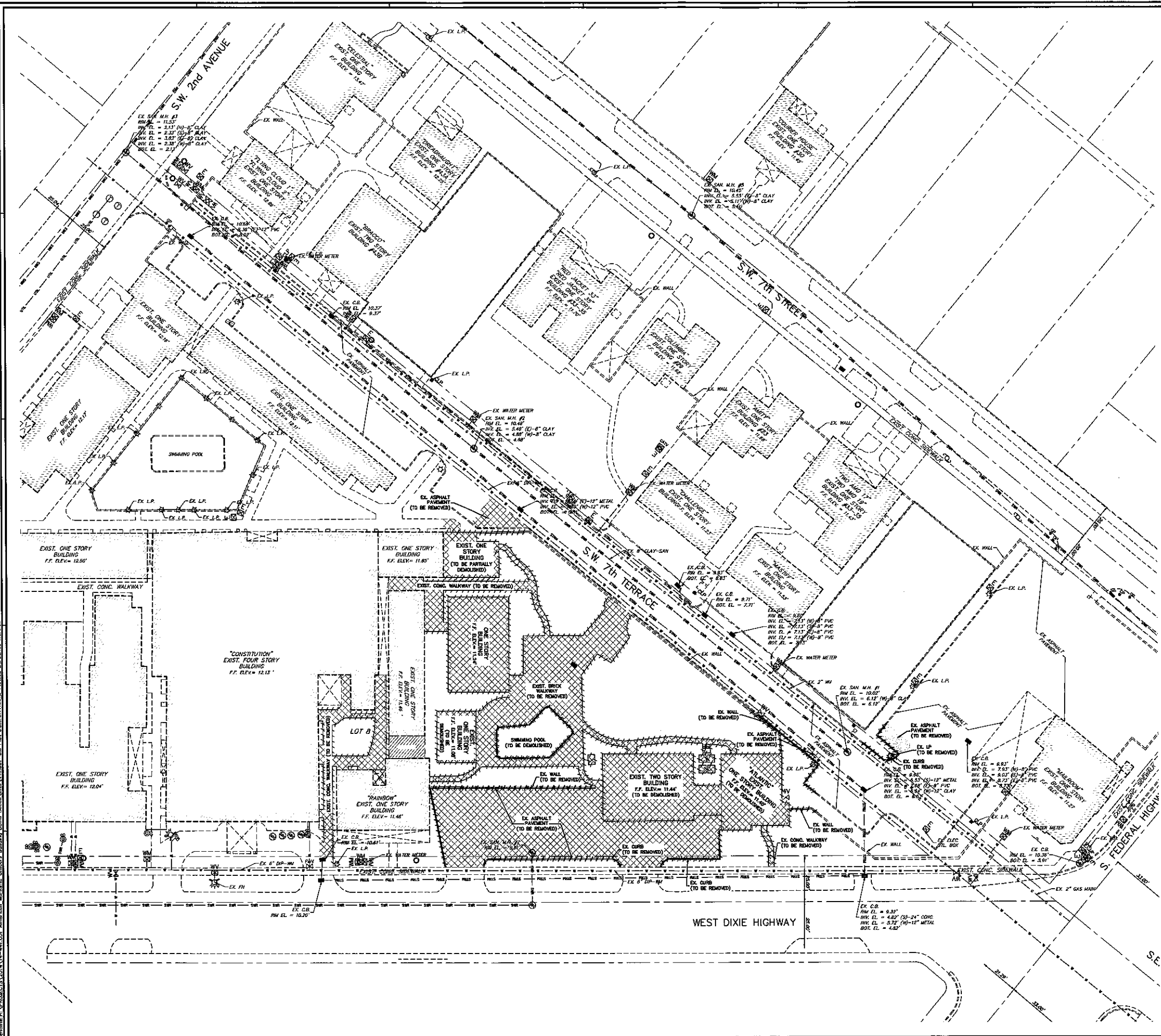


1350 S.W. 57TH AVENUE, SUITE 207
 WEST MIAMI, FLORIDA 33144
 TEL: (305) 265-5030
 FAX: (305) 265-5033
 EB # 5098 LB # 5098
 E-MAIL: JRAVINO@AVINOANDASSOCIATES.COM

ACAD FILE: Arno Complex Survey Update & Legal.dwg

SEAL	DRAWN BY: JRA	SHEET
	CHECKED BY: JRA	
	APPROVED BY: JRA	
	DATE: 03/23/2015	
	SCALE: 1" = 40'	
	JOB No.: 06131.01	
	JORGE R. AVINO, P.E.#22297, P.L.S.#5996	

2
SHEET 2 OF 2



LEGENDS

LEGEND	
SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	PROP. CHAIN LINK FENCE
---	CENTERLINE
---	LOT LINE
---	EX. OVERHEAD UTILITY LINES
---	EX. STORMWATER PIPE
---	EX. WATER MAIN
---	EX. GRAVITY SANITARY SEWER
---	EX. BURIED CABLE (COMM/ST)
---	EX. COMMUNICATION/FIBER LINE
---	EX. TELEPHONE LINE
---	EX. UNDERGROUND ELECTRICAL
* SIZE AND MATERIAL IDENTIFIED AS AVAILABLE	

HATCH LEGEND	
SYMBOL	DESCRIPTION
[Hatched Pattern]	PROP. ASPHALT
[Hatched Pattern]	PROP. CONC.
[Hatched Pattern]	PROP. SOG
[Hatched Pattern]	PROP. STABILIZED SUBGRADE
[Hatched Pattern]	PROP. DEMO

SYMBOL LEGEND	
SYMBOL	DESCRIPTION
○	CONC. POWER POLE
○	WOOD POWER POLE
○	GUY ANCHOR
□	ELECTRICAL BOX
□	CABLE TV BOX
□	WATER METER
□	SEWER VALVE
□	STORM MANHOLE
□	ELECTRIC MANHOLE
□	SEWER MANHOLE
□	MANHOLE
□	TELEPHONE MANHOLE
□	REDUCER
○	DAP / PLUG
○	UTILITY VALVE
○	DIS. METER
○	LIGHT POLE
○	SIGNAL MAST ARM
○	BOLLARD
○	SPOT ELEVATION
○	SON
○	CATCH BASIN
○	FIRE HYDRANT
○	TEMP SITE BENCHMARK
○	IRRIGATION VALVE
○	EX. TREE
○	EX. PALM TREE

NOTES

1. THESE EXISTING CONDITIONS (EC) DRAWINGS WERE BASED ON THE SURVEY PREPARED BY AMOP & ASSOCIATES, JOB NO. 0812101, DATED 02/02/2011. ADDITIONAL INFORMATION WAS OBTAINED FROM AS-BUILTS AND RECORD DRAWINGS PROVIDED BY UTILITY COMPANIES, G.S. INFORMATION AND FIELD VISITS.

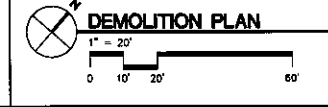
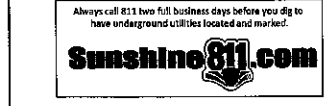
2. ALL ELEVATIONS REFER TO NGVD 1929 DATUM.

3. EXISTING UTILITIES SHOWN BASED ON UTILITY AS-BUILTS AND BEST AVAILABLE INFORMATION. CONTRACTOR TO FIELD LOCATE AND CORRECT ALL UTILITIES, WHETHER SHOWN OR NOT, PRIOR TO ANY CONSTRUCTION & NOTIFY ENGINEER OF ANY DISCREPANCIES.

DATUM INFORMATION

ALL ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS ARE BASED ON NAVD 1983 DATUM. 6.00' NAVD IS EQUIVALENT TO 1.510' NGVD 29.

Always call 811 two full business days before you dig to have underground utilities located and marked.



HARVARD JOLLY ARCHITECTURE

DESIGN OFFICE LOCATION: 2601 W. COMMERCIAL BLVD., SUITE 225, FORT LAUDERDALE, FL 33308 PH: 954-986-8710

11. LINDSEY B. MOORE, P.E.
 12. LINDSEY B. MOORE, P.E.
 13. LINDSEY B. MOORE, P.E.
 14. LINDSEY B. MOORE, P.E.
 15. LINDSEY B. MOORE, P.E.
 16. LINDSEY B. MOORE, P.E.
 17. LINDSEY B. MOORE, P.E.
 18. LINDSEY B. MOORE, P.E.
 19. LINDSEY B. MOORE, P.E.
 20. LINDSEY B. MOORE, P.E.

155 S. Miami Ave.,
 Suite 1111
 Miami, FL 33130
 T: (786) 497-1500
 F: (786) 497-2000
 E: info@chenmoore.com

CHEN-MOORE & ASSOCIATES

**AMOP Member Services Bldg
 American Maritime Officers Plans
 2 Dixie Highway, Dania Beach, FL 33004**

Construction Documents - Site Plan Approval Package - Re-Submittal February 5, 2015

Client No: 13083.00
 Date: 02/05/2015
 Drawn: JMP
 Reviewed: [Signature]

REVIEW COMMENTS
 02/05/15
 DRG Comments
 03/05/15

JOEL ACOSTA, P.E.
 CIVIL ENGINEER
 FL REG. NO. 63827
 © 2011 HARVARD JOLLY, INC.

C2.01

PARKING TABULATIONS

USE	AREA (SQ FT)	SPACES	REMARKS
HOTEL	158,000 SF	17,000	AS PER 2012 FLORIDA BUILDING CODE (BASED ON TOTAL SPACES REQUIRED) THIS INFORMATION WAS NOT INCLUDED WITH THE PARKING STUDY PROVIDED BY HARVEY NORMAN ASSOCIATES
OFFICE	36,744 SF	17,300	
VOCATIONAL SCHOOL	15,847 SF	11,800	
EXPANSION (OFFICE/COMM)	28,000 SF	17,200	
TOTAL REQUIRED PARKING		63,300	
TOTAL PROVIDED PARKING		63,300	

USE	AREA (SQ FT)	SPACES	REMARKS
OFFICE	19,444 SF	85	
TOTAL REQUIRED PARKING		85	
TOTAL PROVIDED PARKING		85	

USE	AREA (SQ FT)	SPACES	REMARKS
OFFICE	17,300 SF	3	
TOTAL REQUIRED PARKING		3	
TOTAL PROVIDED PARKING		3	

USE	AREA (SQ FT)	SPACES	REMARKS
OFFICE	17,300 SF	3	
TOTAL REQUIRED PARKING		3	
TOTAL PROVIDED PARKING		3	

USE	AREA (SQ FT)	SPACES	REMARKS
OFFICE	17,300 SF	3	
TOTAL REQUIRED PARKING		3	
TOTAL PROVIDED PARKING		3	

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OFFICE	17,300 SF	3	
TOTAL REQUIRED PARKING		3	
TOTAL PROVIDED PARKING		3	

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TOTAL PROVIDED PARKING		3	

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TOTAL PROVIDED PARKING		3	

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TOTAL PROVIDED PARKING		3	

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TOTAL PROVIDED PARKING		3	

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TOTAL PROVIDED PARKING		3	

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TOTAL PROVIDED PARKING		3	

USE	AREA (SQ FT)	SPACES	REMARKS
OFFICE	17,300 SF	3	
TOTAL REQUIRED PARKING		3	
TOTAL PROVIDED PARKING		3	

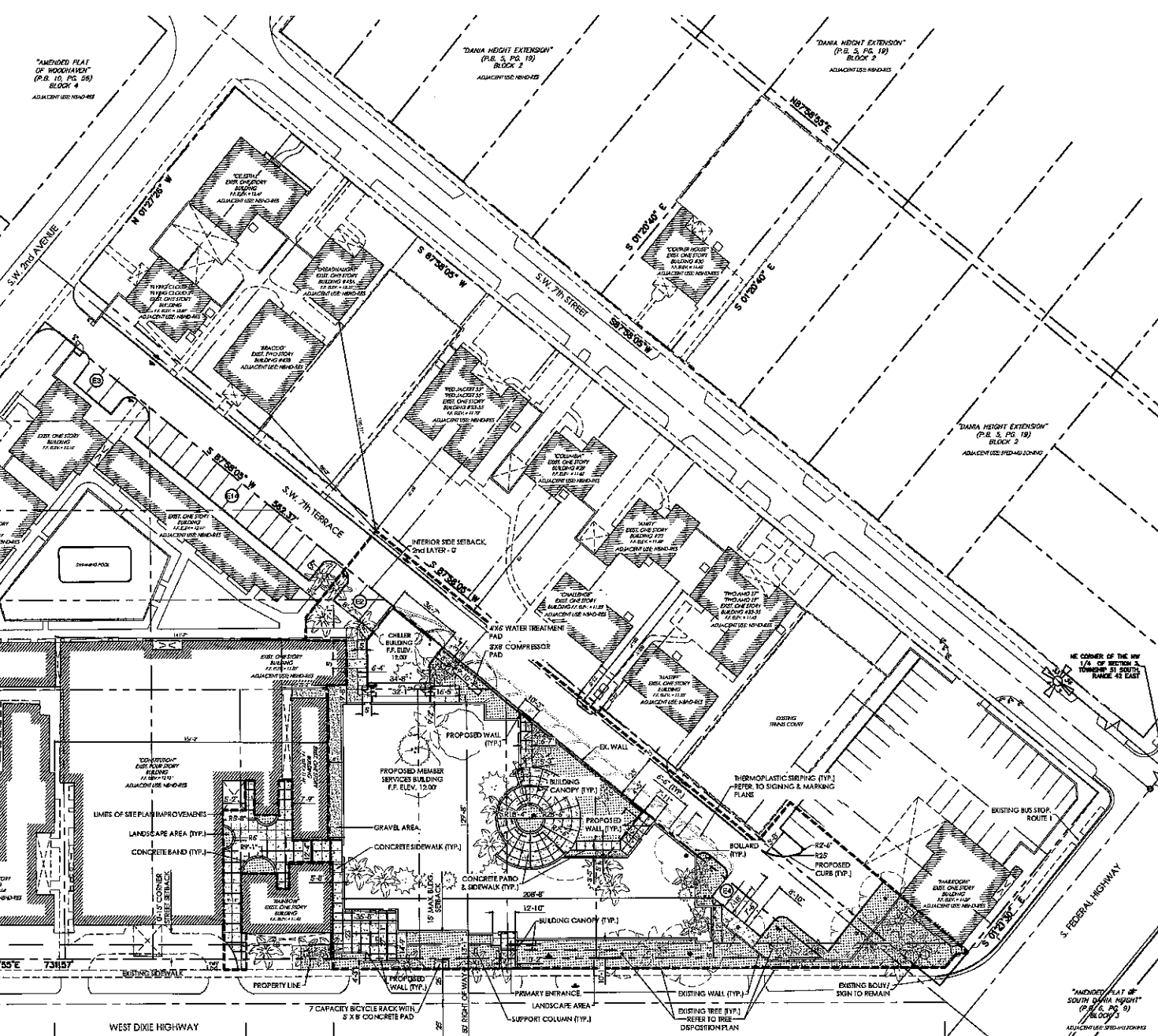
USE	AREA (SQ FT)	SPACES	REMARKS
OFFICE	17,300 SF	3	
TOTAL REQUIRED PARKING		3	
TOTAL PROVIDED PARKING		3	

USE	AREA (SQ FT)	SPACES	REMARKS
OFFICE	17,300 SF	3	
TOTAL REQUIRED PARKING		3	
TOTAL PROVIDED PARKING		3	

USE	AREA (SQ FT)	SPACES	REMARKS
OFFICE	17,300 SF	3	
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TOTAL PROVIDED PARKING		3	

USE	AREA (SQ FT)	SPACES	REMARKS
OFFICE	17,300 SF	3	
TOTAL REQUIRED PARKING		3	
TOTAL PROVIDED PARKING		3	

USE	AREA (SQ FT)	SPACES	REMARKS
OFFICE	17,300 SF	3	
TOTAL REQUIRED PARKING		3	
TOTAL PROVIDED PARKING		3	



AMOP MEMBER SERVICES BUILDING - ZONING TABULATIONS

EXISTING ZONING: L2D - MIDDLE FEDERAL HIGHWAY AREA
 NEW ZONING: L2D - MIDDLE FEDERAL HIGHWAY AREA
 ALL CALCULATIONS SHOWN IN THIS AREA DASHED.

EXISTING ZONING	NEW ZONING	PERMITTED USES
L2D	L2D	OFFICE, RETAIL, RESTAURANT, SERVICE, etc.

EXISTING ZONING	NEW ZONING	PERMITTED USES
L2D	L2D	OFFICE, RETAIL, RESTAURANT, SERVICE, etc.

EXISTING ZONING	NEW ZONING	PERMITTED USES
L2D	L2D	OFFICE, RETAIL, RESTAURANT, SERVICE, etc.

EXISTING ZONING	NEW ZONING	PERMITTED USES
L2D	L2D	OFFICE, RETAIL, RESTAURANT, SERVICE, etc.

EXISTING ZONING	NEW ZONING	PERMITTED USES
L2D	L2D	OFFICE, RETAIL, RESTAURANT, SERVICE, etc.

EXISTING ZONING	NEW ZONING	PERMITTED USES
L2D	L2D	OFFICE, RETAIL, RESTAURANT, SERVICE, etc.

EXISTING ZONING	NEW ZONING	PERMITTED USES
L2D	L2D	OFFICE, RETAIL, RESTAURANT, SERVICE, etc.

EXISTING ZONING	NEW ZONING	PERMITTED USES
L2D	L2D	OFFICE, RETAIL, RESTAURANT, SERVICE, etc.

EXISTING ZONING	NEW ZONING	PERMITTED USES
L2D	L2D	OFFICE, RETAIL, RESTAURANT, SERVICE, etc.

EXISTING ZONING	NEW ZONING	PERMITTED USES
L2D	L2D	OFFICE, RETAIL, RESTAURANT, SERVICE, etc.

PROPOSED SITE CONDITIONS DATA

DESCRIPTION	QUANTITY	UNIT	REMARKS
EXISTING TOTAL AREA	1,000,000	SQ FT	
PROPOSED TOTAL AREA	1,000,000	SQ FT	
EXISTING TOTAL VOLUME	1,000,000	CUBIC YD	
PROPOSED TOTAL VOLUME	1,000,000	CUBIC YD	

LEGENDS

- EXISTING PARKING TAG. E = EXISTING, # INDICATES TOTAL SPACES. REFER TO PARKING TABULATIONS THIS SHEET.
- PROPOSED PARKING TAG. E = EXISTING, # INDICATES TOTAL SPACES. REFER TO PARKING TABULATIONS THIS SHEET.

NOTES

- THESE EXISTING CONDITIONS (EC) DRAWINGS WERE BASED ON THE SURVEY PREPARED BY AMOP & ASSOCIATES, 2014. ADDITIONAL INFORMATION WAS OBTAINED FROM AMOP & ASSOCIATES, 2014.
- ALL DIMENSIONS REFER TO THE CENTERLINE UNLESS OTHERWISE NOTED.
- EXISTING UTILITIES SHOWN BASED ON UTILITY AS-BUILTS AND BEST AVAILABLE INFORMATION. CONTRACTOR TO FIELD LOCATE AND VERIFY ALL UTILITIES WHETHER SHOWN OR NOT PRIOR TO ANY CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- THE LOCATIONS WERE FIELD CHECKED ON 02/21/14. LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE. CONTRACTOR TO COORDINATE WITH LANDSCAPE ARCHITECT & ENGINEER FOR THE FIELD CHECKING OF THESE CONDITIONS.
- REFER TO ARCHITECTURAL AND CIVIL OR LANDSCAPE PLANS FOR PROPOSED MATERIALS, COLORS AND METHODS OF CONSTRUCTION AND DETAILS.

DATUM INFORMATION:

ALL ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS ARE BASED ON NAVD 83 DATUM. 0.00' HAVO 83 IS EQUIVALENT TO 1.829' NGVD 29.

HARVARD JOLLY ARCHITECTURE

1111...
 P. 305.305.305
 F. 305.305.305
 T. 305.305.305
 A. 305.305.305

1111...
 P. 305.305.305
 F. 305.305.305
 T. 305.305.305
 A. 305.305.305

1111...
 P. 305.305.305
 F. 305.305.305
 T. 305.305.305
 A. 305.305.305

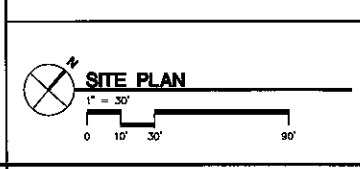
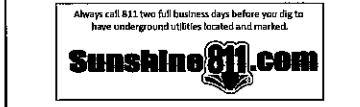
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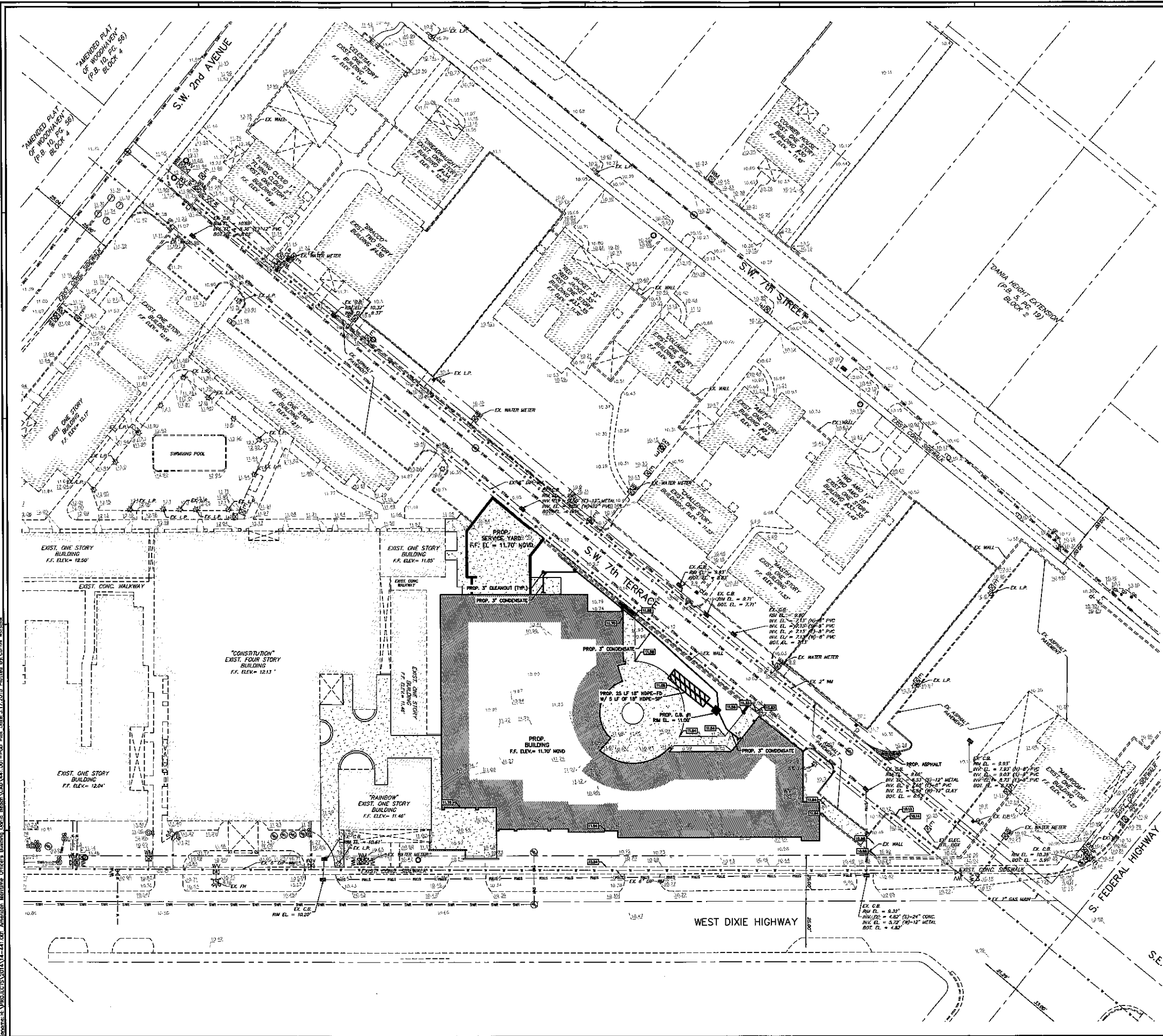
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 A. 305.305.305

1111...
 P. 305.305.305
 F. 305.305.305
 T. 305.305.305
 A. 305.305.305



C3.00



LEGENDS

LEGEND	
SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	PROP. CHAIN LINK FENCE
---	CENTERLINE
---	LOT LINE
---	EX. OVERHEAD UTILITY LINES
---	EX. STORMWATER PIPE
---	EX. WATER MAIN
---	EX. GRAVITY SANITARY SEWER
---	EX. BURIED CABLE (CONCRETE)
---	EX. COMMUNICATION/FIBER LINE
---	EX. TELEPHONE LINE
---	EX. UNDERGROUND ELECTRICAL
* SIZE AND MATERIAL IDENTIFIED AS AVAILABLE	

HATCH LEGEND	
SYMBOL	DESCRIPTION
---	PROP. ASPHALT
---	PROP. CONC.
---	PROP. SOG
---	PROP. STABILIZED SUBGRADE
---	PROP. DEMO

SYMBOL LEGEND	
SYMBOL	DESCRIPTION
○	COND. POWER POLE
○	WOOD POWER POLE
○	OUT AND/OR
□	ELECTRICAL BOX
□	CABLE TV BOX
□	WATER METER
□	SEWER VALVE
□	STORM MANHOLE
□	ELECTRIC MANHOLE
□	SEWER MANHOLE
□	MANHOLE
□	TELEPHONE MANHOLE
□	REDUCER
○	CAP / PLUG
○	UTILITY VALVE
○	GAS METER
○	LIGHT POLE
○	SIGNAL MAST ARM
○	BOLLARD
○	SPOT ELEVATION
○	SUN
○	CATCH BASIN
○	FIRE HYDRANT
○	TEMP SITE BENCHMARK
○	IRRIGATION VALVE
○	EX. TREE
○	EX. FRAM TREE

NOTES

1. THESE EXISTING CONDITIONS (EC) DRAWINGS WERE BASED ON THE SURVEY PREPARED BY AMOP & ASSOCIATES, INC. IN 2010. DATE: 02/02/2010. ADDITIONAL INFORMATION WAS OBTAINED FROM AS-BUILTS AND RECORD DRAWINGS PROVIDED BY UTILITY COMPANIES, G.I.E. INFORMATION AND FIELD VISITS.

2. ALL ELEVATIONS REFER TO NGVD 1929 DATUM.

3. EXISTING UTILITIES SHOWN BASED ON UTILITY AS-BUILTS AND BEST AVAILABLE INFORMATION. CONTRACTOR TO FIELD LOCATE AND CONFIRM ALL UTILITIES, WHETHER SHOWN OR NOT, PRIOR TO ANY CONSTRUCTION & NOTIFY ENGINEER OF ANY DISCREPANCIES.

DATUM INFORMATION

ALL ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS ARE BASED ON NAVD 1983 DATUM. 0.00' NAVD 83 IS EQUIVALENT TO 1.510' NGVD 29.

Always call 811 two full business days before you dig to have underground utilities located and marked.



PAVING, GRADING & DRAINAGE PLAN

1" = 20'

HARVARD • JOLLY ARCHITECTURE

DESIGN OFFICE LOCATION: 3501 N. CAMDEN AVE., SUITE 203, FORT LAUDERDALE, FL 33408-3710

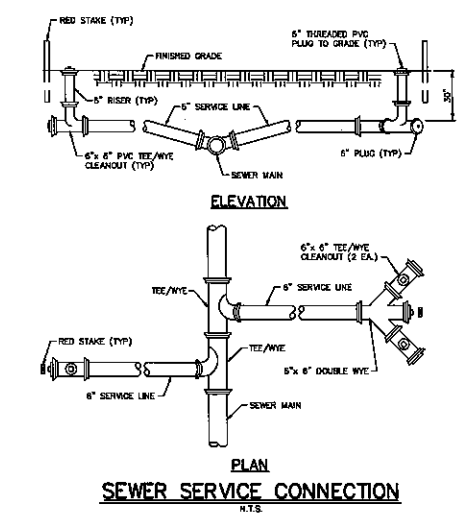
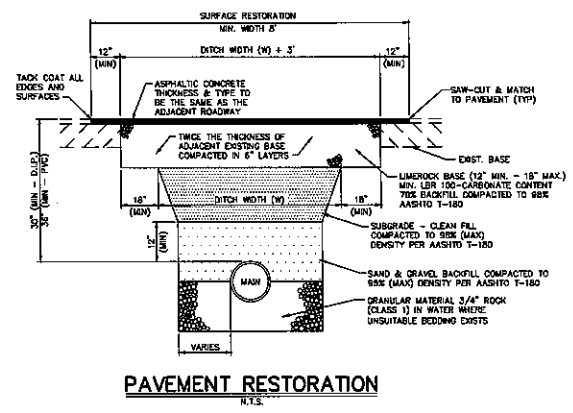
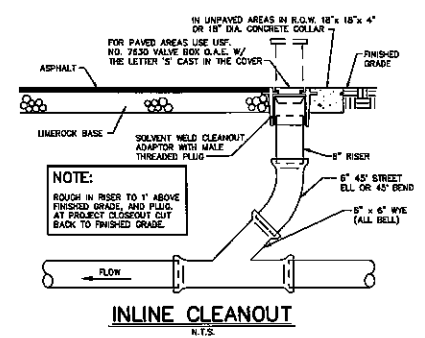
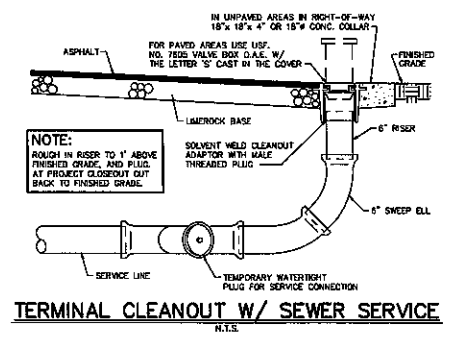
155 S. MILITARY AVE., SUITE 100, MIAMI, FL 33130
CHEN-MOORE ASSOCIATES
 TEL: (786) 497-1500 FAX: (786) 497-2500
 ER 0001593

AMOP Member Services Bldg
American Maritime Officers Plans
 2 Dixie Highway, Dania Beach, FL 33004
 Construction Documents - Site Plan Approval Package - Re-Submittal February 5, 2015

Comm No: 13083.00
 Date: 02/05/2015
 Drawn: CMP
 Revised:
 REVIEW COMMENTS:
 02/05/15
 DFC Comments
 03/05/15

JOSE L. ACOSTA, P.E.
 CIVIL ENGINEER
 FL REG. NO. 63827
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C3.01

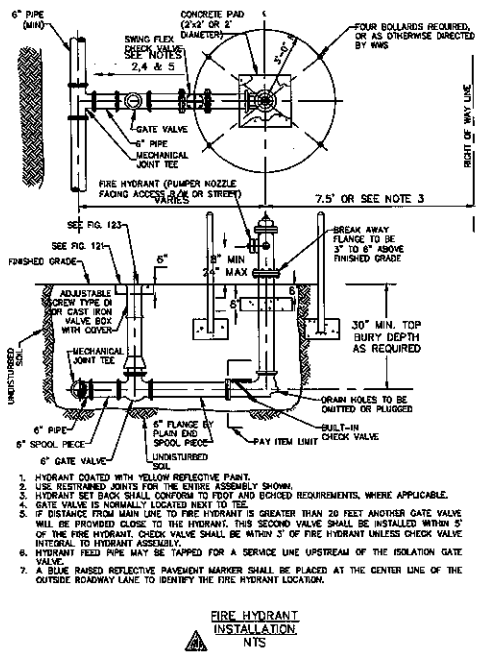
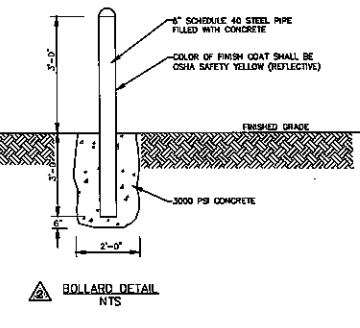
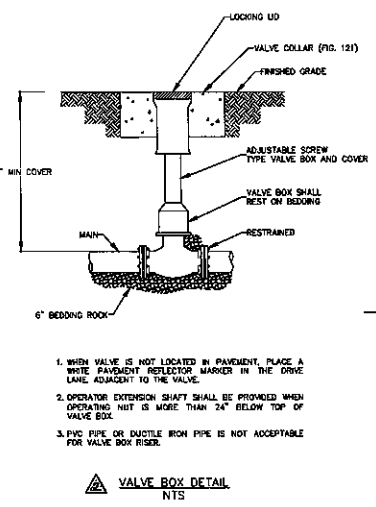
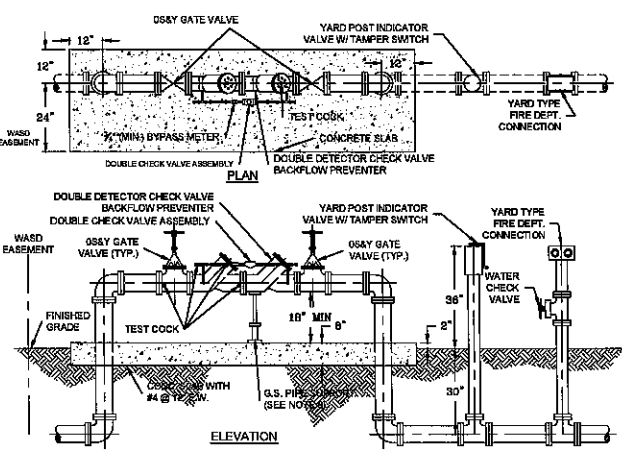
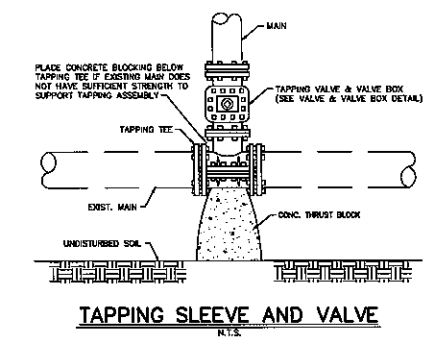
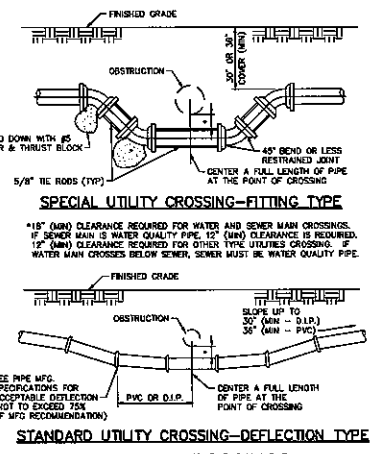


RESTRAINED JOINT DETAIL
N.T.S.

PER MANHOLE COUNTY WARD QS 2.0

PIPE SIZE	TEE & WYE	90° BEND	45° BEND	22-1/2° BEND	11-1/4° BEND
8"	27	27	16	9	5
10"	34	34	20	11	6
12"	43	43	24	14	7
14"	55	55	32	18	10
16"	62	62	36	20	11
18"	69	69	42	24	13
20"	75	75	48	27	14
24"	87	87	58	33	17
30"	104	104	72	42	21
36"	120	120	84	48	24
42"	134	134	98	54	27
48"	147	147	112	62	31
54"	160	160	126	70	35

RESTRAINED PIPE LENGTH (LINEAR FEET)



- NOTES:**
1. THE ASSEMBLY MUST BE INSTALLED WITH MINIMUM HORIZONTAL CLEARANCES OF 30" FREE FROM OBSTRUCTION IN ALL DIRECTIONS.
 2. GUARD POSTS SHALL BE INSTALLED IF THE ASSEMBLY IS EXPOSED TO POSSIBLE DAMAGE FROM VEHICULAR TRAFFIC, AS DETERMINED BY THE DEPARTMENT, OR THE WARD INSPECTOR.
 3. THE ASSEMBLY SHALL BE INSTALLED IN AN ACCESSIBLE LOCATION, APPROVED BY THE DEPARTMENT AND THE WARD INSPECTOR.
 4. ALL JOINTS SHALL BE FLANGED OR RESTRAINED IN ACCORDANCE WITH DEPARTMENT STANDARDS.
 5. ALL ABOVE GROUND PIPING AND EQUIPMENT, EXCEPT FOR BRASS AND STAINLESS STEEL PORTIONS, SHALL BE FINISHED WITH BLUE ENAMEL PAINT (KOP-COAT 0528 LEAD FREE), IN ACCORDANCE WITH DEPARTMENT STANDARDS.
 6. THE DEPARTMENT WILL PROVIDE CHAINS AND LOCKS FOR GATE VALVES.
 7. FOR RETROFIT PROJECTS, REPLACE THE EXISTING SINGLE CHECK VALVE DEVICE WITH A SPOOL PIECE AND INSTALL A NEW DOUBLE DETECTOR CHECK VALVE ASSEMBLY INSIDE OF PROPERTY LINE.
 8. ADJUSTABLE PIPE SADDLE SUPPORT (GIRNINGLL FIG. 264, OR EQUAL) SIZED TO FIT CURVATURE OF DOUBLE DETECTOR CHECK VALVE ASSEMBLY, WITH GALVANIZED STEEL PIPE AND FLOOR FLANGE. ATTACH FLOOR FLANGE TO CONCRETE SLAB WITH GALVANIZED EXPANDED BOLTS.
 9. THE DEPARTMENT SHALL HAVE UNRESTRICTED AND CONTINUOUS ACCESS TO THE BACKFLOW PREVENTION ASSEMBLY.
 10. ALL OUTLETS SHALL BE PLUGGED WITH BRASS PLUGS.
 11. PIPING SHALL BE DUCTILE IRON PIPE WITH FLANGED FITTINGS, IN ACCORDANCE WITH WARD'S CONSTRUCTION SPECIFICATIONS FOR CONDITIONS OF WATER MAINS.

1. WHEN VALVE IS NOT LOCATED IN PAVEMENT, PLACE A WHITE PAVEMENT REFLECTOR MARKER IN THE DRIVE LANE ADJACENT TO THE VALVE.
2. OPERATOR EXTENSION SHAFT SHALL BE PROVIDED WHEN OPERATING NUT IS MORE THAN 24" BELOW TOP OF VALVE BOX.
3. PVC PIPE OR DUCTILE IRON PIPE IS NOT ACCEPTABLE FOR VALVE BOX RISER.

LEGENDS

LEGEND

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	CENTERLINE
---	LOT LINE
---	EX. OVERHEAD UTILITY LINES
---	EX. STORMWATER PIPE
---	EX. WATER MAIN
---	EX. GRAVITY SANITARY SEWER
---	EX. BURIED CABLE (CONCRETE)
---	EX. COMMUNICATION/FIBER LINE
---	EX. TELEPHONE LINE
---	EX. UNDERGROUND ELECTRICAL

* SIZE AND MATERIAL IDENTIFIED AS AVAILABLE

HATCH LEGEND

SYMBOL	DESCRIPTION
---	PROP. ASPHALT
---	PROP. CONC.
---	PROP. SOIL
---	PROP. STABILIZED SUBGRADE
---	PROP. DEMO

SYMBOL LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
○	COND. POWER POLE	⌋	CAP / FLAG
○	WOOD POWER POLE	⊕	UTILITY VALVE
○	UTILITY VALVE	○	45° METER
□	ELECTRICAL BOX	○	LIGHT POLE
□	CABLE TV BOX	○	SIGNAL MAST ARM
○	WATER VALVE	○	BOLLARD
○	SEWER VALVE	○	SOIL
○	STORM MANHOLE	○	CATCH BASIN
○	ELECTRIC MANHOLE	○	FIRE HYDRANT
○	SEWER MANHOLE	○	TEMP SITE BENCHMARK
○	MANHOLE	○	IRRIGATION VALVE
○	TELEPHONE MANHOLE	○	EX. TREE
○	REDUCER	+	EX. PALM TREE

- NOTES**
1. THESE EXISTING CONDITIONS (EX) DRAWINGS WERE BASED ON THE SURVEY PREPARED BY AMOP & ASSOCIATES, JOB NO. 101001, DATED 02/07/2014. ADDITIONAL INFORMATION WAS OBTAINED FROM AS-BUILTS AND RECORD DRAWINGS PROVIDED BY UTILITY COMPANIES, C.S.
 2. ALL ELEVATIONS REFER TO MGD 1928 DATUM.
 3. EXISTING UTILITIES SHOWN BASED ON UTILITY AS-BUILTS AND BEST AVAILABLE INFORMATION. CONTRACTOR TO FIELD LOCATE AND CORRECT ALL UTILITIES, WHETHER SHOWN OR NOT, PRIOR TO ANY CONSTRUCTION & NOTIFY ENGINEER OF ANY DISCREPANCIES.

DATUM INFORMATION

ALL ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS ARE BASED ON MGD 1928 DATUM. 8.00' HIGHER IS EQUIVALENT TO 1.283' NGVD 29.

Always call 811 two full business days before you dig to have underground utilities located and marked.

Sunshine811.com

WATER & SEWER DETAIL SHEET

1" = 20'

0 10' 20' 30'

HARVARD • JOLLY ARCHITECTURE

111 UNIVERSITY AVENUE
FL 3RD FLOOR
ANNAPOLIS, MD 21403
TEL: (410) 293-7774
FAX: (410) 293-7774
WWW.HARVARDJOLLY.COM

CHEV-MOORE ASSOCIATES

155 S. MILITARY AVE.
SUITE 101
MEMPHIS, TN 38103
TEL: (901) 477-1900
FAX: (901) 477-2000
WWW.CHEVMOORE.COM

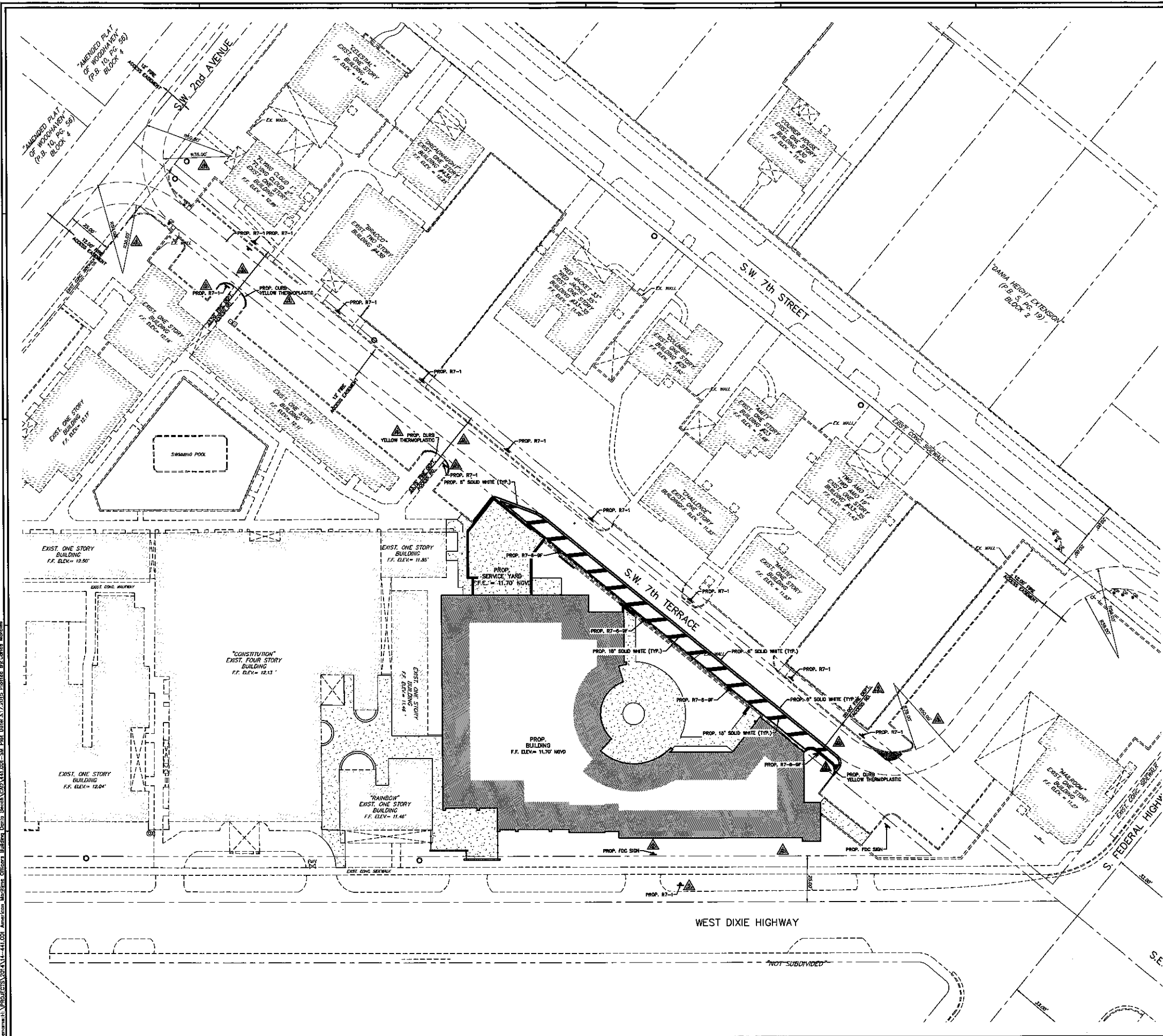
**AMOP Member Services Bldg
American Maritime Officers Plans
2 Dixie Highway, Dania Beach, FL 33004
DESIGNER: DEWELOPHIEN**

Approval Package - Re-Submittal February 5, 2015

Comm No: 13083.00
Date: 02/05/2015
Drawn: CJP
Reviewed: [Signature]
02/05/15
02/05/15
03/05/15

JOSE L. ACOSTA, P.E.
CIVIL ENGINEER
FL REG. NO. 63827
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C4.02



LEGENDS

LEGEND	
SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	PROP. CHAIN LINK FENCE
---	CENTERLINE
---	LOT LINE
---	EX. OVERHEAD UTILITY LINES
---	EX. STORMWATER PIPE
---	EX. WATER MAIN
---	EX. DRAINAGE SANITARY SEWER
---	EX. BURIED CABLE (CONDUITS)
---	EX. COMMUNICATION/FIBER LINE
---	EX. TELEPHONE LINE
---	EX. UNDERGROUND ELECTRICAL
* SIZE AND MATERIAL IDENTIFIED AS AVAILABLE	

HATCH LEGEND	
SYMBOL	DESCRIPTION
[Hatched Pattern]	PROP. ASPHALT
[Hatched Pattern]	PROP. CONC.
[Hatched Pattern]	PROP. SOO
[Hatched Pattern]	PROP. STABILIZED SUBGRADE
[Hatched Pattern]	PROP. DEKO

SYMBOL LEGEND	
SYMBOL	DESCRIPTION
○	CONC. POWER POLE
○	WOOD POWER POLE
○	OFF. ANCHOR
□	ELECTRICAL BOX
□	CABLE TV BOX
○	WATER VALVE
○	WATER METER
○	SEWER WALK
○	STORM MANHOLE
○	ELECTRIC MANHOLE
○	SEWER MANHOLE
○	MANHOLE
○	TELEPHONE MANHOLE
○	REDUCER
○	CAP / PLUG
○	UTILITY VALVE
○	PIE METER
○	LIGHT POLE
○	SIGNAL MAST ARM
○	SOILLARD
○	SPOT ELEVATION
○	SON
○	CATCH BASIN
○	FIRE HYDRANT
○	TEMP SITE BENCHMARK
○	REGULATION VALVE
○	EX. TREE
○	EX. PALM TREE

NOTES

NOTES:

- THESE EXISTING CONDITIONS (EC) DRAWINGS WERE BASED ON THE SURVEY PREPARED BY AMO & ASSOCIATES, INC. IN 2010. ALL DIMENSIONS, DISTANCES, AND RECORDS DRAWINGS PROVIDED BY UTILITY COMPANIES, G.I.S. INFORMATION AND FIELD VISTS.
- ALL ELEVATIONS REFER TO NAVD 1989 DATUM. EXISTING UTILITIES SHOWN BASED ON UTILITY AS-BUILTS AND BEST AVAILABLE INFORMATION. CONTRIBUTOR TO FIELD LOCATE AND CONFIRM ALL UTILITIES, WHETHER SHOWN OR NOT, PRIOR TO ANY CONSTRUCTION & NOTIFY ENGINEER OF ANY DISCREPANCIES.

SIGNING LEGEND

[Sign Symbol]	NO PARKING ANY TIME
[Sign Symbol]	NO PARKING 12x18'
[Sign Symbol]	NO PARKING 10'x24'

DATUM INFORMATION

ALL ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS ARE BASED ON NAVD 1989 DATUM. 5.00' NAVD 88 IS EQUIVALENT TO 1.51' NAVD 29.

Always call 811 two full business days before you dig to have underground utilities located and marked.

Sunshine811.com

SIGNING & MARKING PLAN

1" = 20'

0 10' 20' 60'

HARVARD JOLLY ARCHITECTURE

11 Lindwood Blvd., Suite 100, Ft. Lauderdale, FL 33304
 Phone: (754) 577-9400
 Fax: (754) 577-9401
 www.harvardjolly.com

155 S. Miami Ave., Suite 1510, Miami, FL 33130
 Phone: (786) 497-1500
 Fax: (786) 497-2000
 www.chenmoore.com

**AMOP Member Services Bldg
 American Maritime Officers Plans
 2 Dixie Highway, Dania Beach, FL 33004**

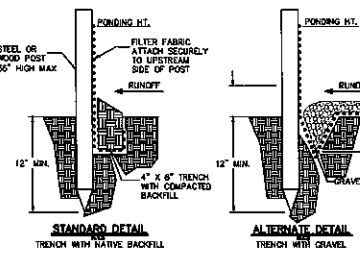
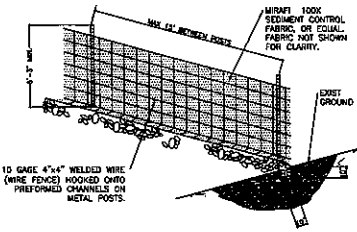
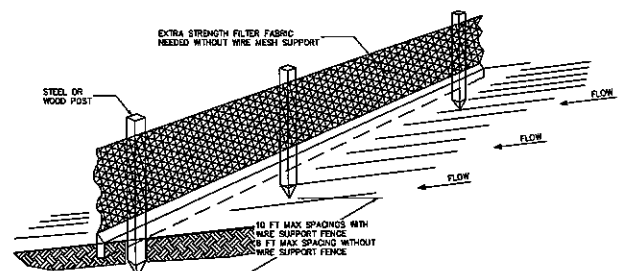
Construction Documents - Site Plan Approval Package - Re-Submittal February 5, 2015

Comm. No: 13083.00
 Date: 02/05/2015
 Drawn: CUP
 Revised:
 02/06/15
 03/09/15

JOSE L. AGOSTA, P.E.
 CIVIL ENGINEER
 FL REG. NO. 63827
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C5.01

PROJECT: 15. VPROJ/CTS/2014/1-441.001 American Maritime Officers Building, Dania Beach, FL 33004
 DATE: 3/17/2015
 DRAWN BY: CUP
 CHECKED BY: J. JOLLY
 PROJECT MANAGER: J. JOLLY
 ARCHITECT: HARVARD JOLLY ARCHITECTURE



- NOTE:**
1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE FLOWING EFFICIENCY.

- NOTES:**
1. DRIVE WOOD POSTS (1.3 LBS/FT MIN) 18\"/>
 2. POSTS 4\"/>
 3. ATTACH THE SEDIMENT CONTROL FABRIC (35\"/>
 4. BOTTOM OF SEDIMENT CONTROL FABRIC MUST BE PLACED IN TRENCH AND SECURED WITH GRANULAR FILL TO A HEIGHT OF 6\"/>
 5. SILT FENCE SHALL BE MAINTAINED AND TRAPPED SEDIMENTS SHALL BE REMOVED BY THE CONTRACTOR PERIODICALLY AS DETERMINED BY THE ENGINEER OR AS NECESSARY (MAX. 6 MONTHS).
 6. THE CONTRACTOR IS REQUIRED TO REMOVE ALL SILT FENCES AND AREA TO BE RESTORED TO THE ORIGINAL CONDITION UPON COMPLETION OF CONSTRUCTION.

SILT FENCE DETAIL (D105)

SHEET FLOW APPLICATION: SILT FENCE

THIS SEDIMENT BARRIER USES STANDARD STRENGTH OR EXTRA STRENGTH SYNTHETIC FILTER FABRICS. IT IS DESIGNED FOR SITUATIONS IN WHICH ONLY SHEET OR OVERLAND FLOWS ARE EXPECTED.

1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 cm). HIGHER FENCES MAY IMPROVE VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE.
2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPICED AS DESCRIBED IN ITEM NO. 8 BELOW.
3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 m) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 cm). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 8 FEET (2.4 m).
4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10cm) WIDE AND 4 INCHES (10 cm) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES (AT LEAST 1 INCH (25 mm) LONG, THE WIRE OR ROD BOWS, THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 3 INCHES (8 cm) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 cm) ABOVE THE ORIGINAL GROUND SURFACE.

CHANNEL FLOW APPLICATIONS

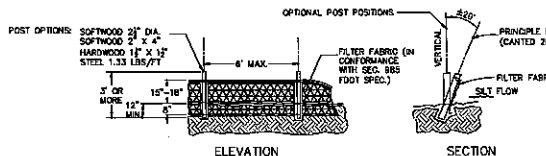
6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WAVED TO THE FENCE, AND 8 INCHES (20 cm) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 cm) ABOVE THE ORIGINAL GROUND SURFACE.
7. WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WAVED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF ITEM NO. 8 APPLYING.
8. WHEN ATTACHING TWO SILT FENCES TOGETHER, PLACE THE END POST OF THE SECOND FENCE INSIDE THE END POST OF THE FIRST FENCE. ROTATE BOTH POSTS AT LEAST 180 DEGREES IN A CLOCKWISE DIRECTION TO CREATE A TIGHT SEAL WITH THE FILTER FABRIC. DRIVE BOTH POSTS INTO THE GROUND AND BURY THE FLAPS.
9. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
10. THE MOST EFFECTIVE APPLICATION CONSISTS OF A DOUBLE ROW OF SILT FENCES SPACED A MINIMUM OF THREE FEET APART. THE FIRST POST SEPARATION IS SO THAT IF THE FIRST ROW COLLAPSES IT WILL NOT FALL ON THE SECOND ROW. WIRE OR SYNTHETIC MESH MAY BE USED TO REINFORCE THE FIRST ROW.
11. WHEN USED TO CONTROL SEDIMENTS FROM A STEEP SLOPE, SILT FENCES SHOULD BE PLACED AWAY FROM THE TOE OF THE SLOPE FOR INCREASED HOLDING CAPACITY.
12. SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USUAL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

CHANNEL FLOW APPLICATIONS

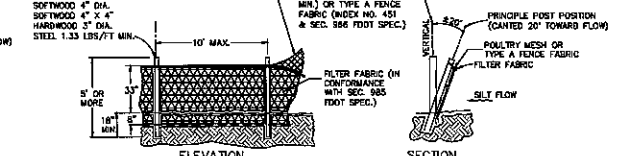
1. IF A FILTER BARRIER IS TO BE CONSTRUCTED ACROSS A DITCH LINE OR SHALLOWS, THE BARRIER SHALL BE OF SUFFICIENT LENGTH SUCH THAT THE BOTTOM OF THE END SECTIONS OF THE FENCE ARE HIGHER IN ELEVATION THAN THE TOP OF THE CENTER SECTION TO ELIMINATE END FLOW. THE PLAN CONTOURIZATION SHALL RESEMBLE AN ARC OR HORSESHOE WITH THE ENDS ORIENTED UPSLOPE.
2. USE FOOT STANDARD INDEX 102, CHART 1 AS A GUIDE FOR SPACING.

MAINTENANCE

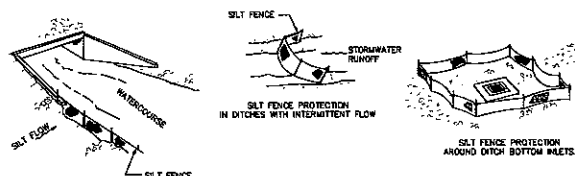
1. SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER BECOME OR BECOME INEFFECTIVE BEFORE THE END OF THE EXPECTED USEABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROPERLY.
2. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.



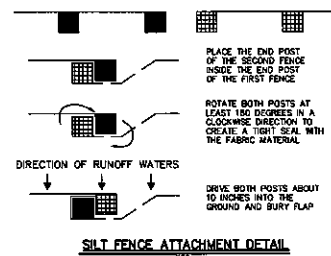
TYPE III SILT FENCE (N1A)



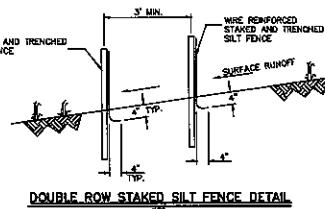
TYPE IV SILT FENCE (N1A)



SILT FENCE APPLICATIONS (N1A)



SILT FENCE ATTACHMENT DETAIL (N1A)



DOUBLE ROW STAKED SILT FENCE DETAIL (N1A)

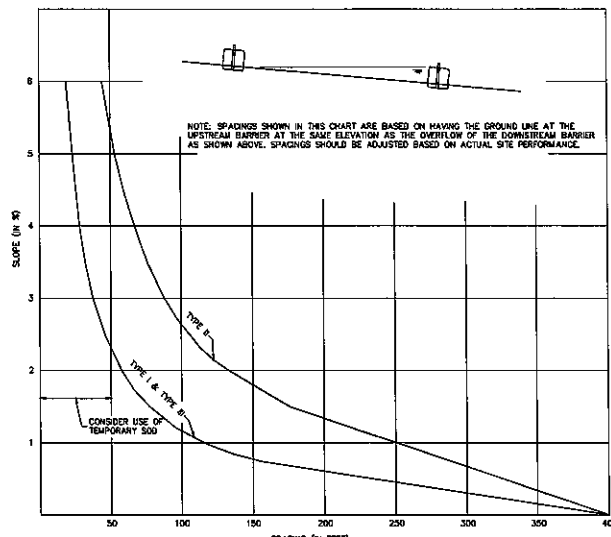
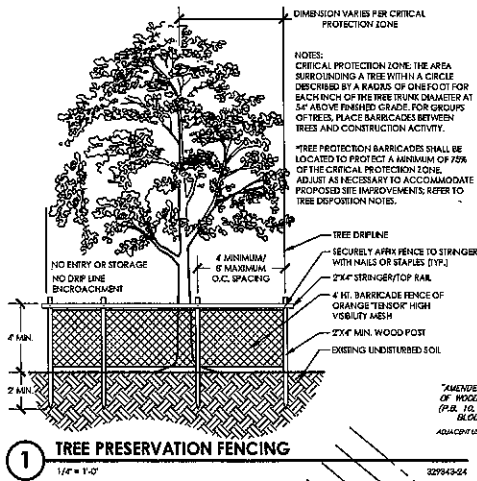


CHART 1
RECOMMENDED SPACING FOR BALED HAY BARRIERS AND TYPE III SILT FENCE
N.T.S.

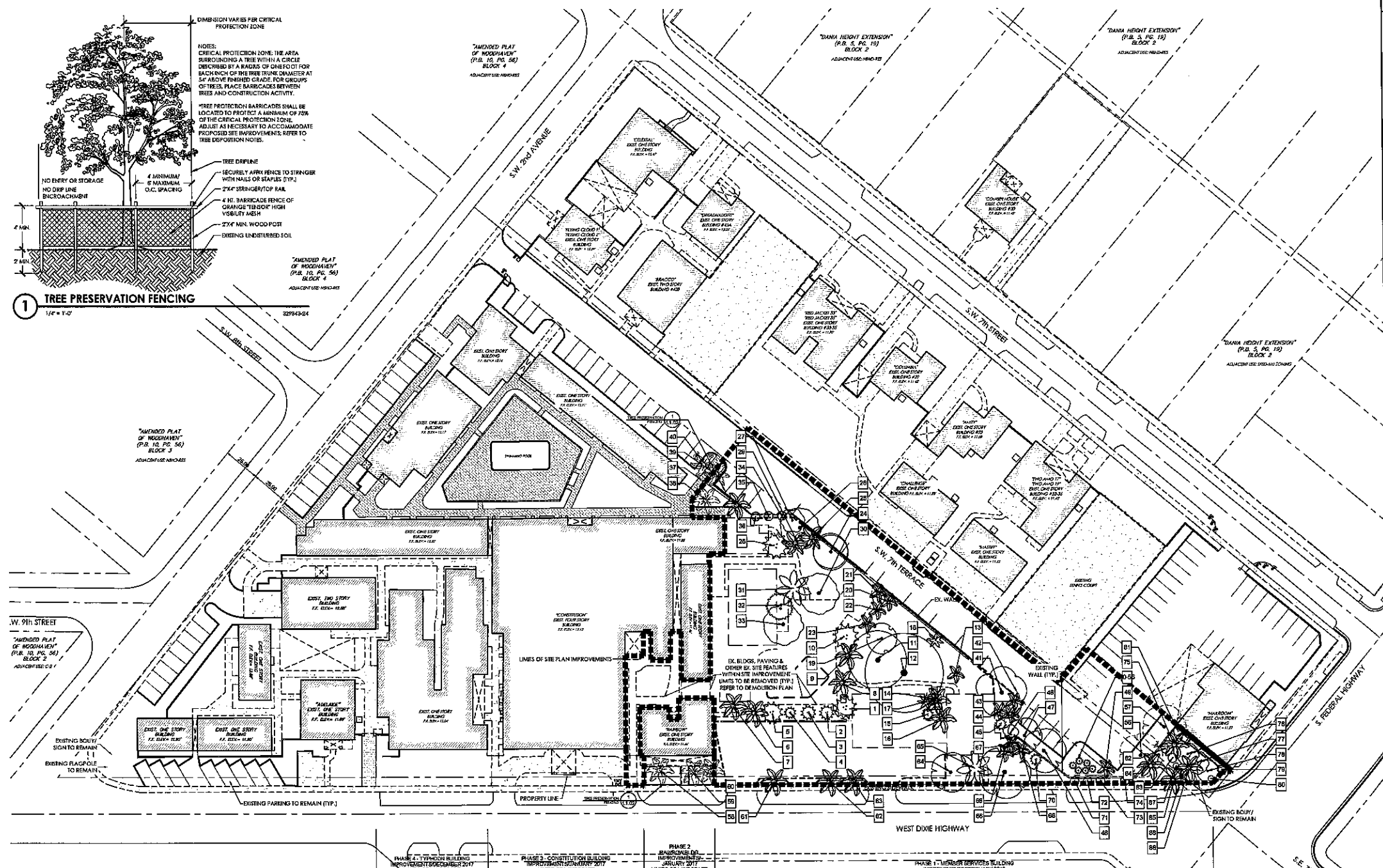
- GENERAL NOTES**
1. TYPE III SILT FENCE TO BE USED AT MOST LOCATIONS, WHERE USED IN DITCHES, THE SPACING FOR TYPE III SILT FENCE SHALL BE IN ACCORDANCE WITH CHART 1, SHEET 1.
 2. TYPE IV SILT FENCE TO BE USED WHERE LARGE SEDIMENT LOADS ARE ANTICIPATED. SUGGESTED USE IS WHERE FILL SLOPE IS 1:2 OR STEEPER AND LENGTH OF SLOPE EXCEEDS 20 FEET. AVOID USE WHERE THE DETAINED WATER MAY BACK INTO TRAVEL LANES OR OFF THE RIGHT-OF-WAY.
 3. DO NOT CONSTRUCT SILT FENCES ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.
 4. WHERE USED AS SLOPE PROTECTION, SILT FENCE IS TO BE CONSTRUCTED ON ONE LONGITUDINAL GRADE TO AVOID CHANNELIZING RUNOFF ALONG THE LENGTH OF THE FENCE.

LEGENDS

LEGEND		HATCH LEGEND		SYMBOL LEGEND	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
---	PROPERTY LINE	▨	PROP. ASPHALT	○	CONC. POWER POLE
---	RIGHT-OF-WAY LINE	▩	PROP. CONC.	○	WOOD POWER POLE
---	CENTERLINE	▧	PROP. SOB	□	GFY ANCHOR
---	LOT LINE	▦	PROP. STABILIZED SUBGRADE	□	ELECTRICAL BOX
---	EX. OVERHEAD UTILITY LINES	▤	PROP. DEMO	□	CABLE TV BOX
---	EX. STORMWATER PIPE	▥		□	WATER VALVE
---	EX. WATER MAIN	▧		○	SIGNAL MAST ARM
---	EX. GRAVITY SANITARY SEWER	▩		○	BOLLARD
---	EX. BURIED CABLE (CONDUIT)	▦		○	SPOT ELEVATION
---	EX. COMMUNICATION/FIBER LINE	▤		○	SON
---	EX. TELEPHONE LINE	▥		○	STORM MANHOLE
---	EX. UNDERGROUND ELECTRICAL	▧		○	ELECTRIC MANHOLE
---		▩		○	SEWER MANHOLE
---		▦		○	MANHOLE
---		▤		○	TELEPHONE MANHOLE
---		▥		○	REDUCER
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1 TREE PRESERVATION FENCING
1/4" = 1'-0"

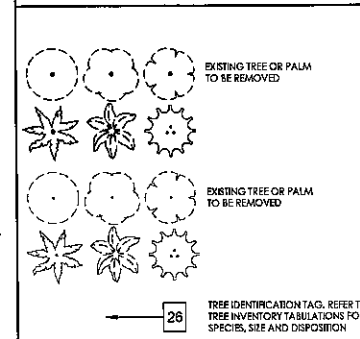


PROTECTION OF EXISTING TREES

IF PROPOSED CONSTRUCTION ACTIVITY WILL ADVERSELY IMPACT THE ROOT ZONE OF EXISTING TREES, ADJACENT TO THE LIMITS OF CONSTRUCTION, THE CONTRACTOR SHALL ROOT PRUNE THE ADJACENT TREES PER NOTES SHOWN BELOW.

1. **ROOT PRUNING AND WATERING PRIOR TO CONSTRUCTION:**
 - 1.1. TREE ROOT PRUNING AND TRIMMING, SHALL BE PERFORMED UNDER THE SUPERVISION OF A CERTIFIED & LICENSED ARBORIST.
 - 1.2. ROOT PRUNE TREES A MINIMUM OF EIGHT (8) WEEKS PRIOR TO CONSTRUCTION. PRIOR TO ROOT PRUNING, THOROUGHLY WATER THE ROOT ZONE WITH AT LEAST 2 TO 3 INCHES OF WATER FOR 2 TO 3 DAYS PRIOR TO ROOT PRUNING. SEE BELOW FOR RELOCATION TIMELINE.
 - 1.2.1. PROVIDE TEMPORARY IRRIGATION FOR EACH TREE THROUGHOUT THE DURATION OF CONSTRUCTION.
 - 1.2.2. ROOT PRUNE TREES, SHOWN ON PLAN IN AREAS WHERE ROOTS WILL CONFLICT WITH CONSTRUCTION ACTIVITY. PRUNING OF ROOTS SHOULD BE DONE IN A MANNER TO PRESERVE THE GREATEST AMOUNT OF THE ROOT BASE AS POSSIBLE.
 - 1.2.3. BACKFILL TRENCH WITH PLANTING SDI.
 - 1.2.4. FERTILIZE WITHIN THE ROOT ZONE (SEE NOTE 1.4).
 - 1.3. ROOT PRUNING SHALL BE ACCOMPLISHED BY DIGGING A TRENCH AROUND THE TREE IN AREAS WHERE PROPOSED SITE WORK WILL BE PERFORMED. TRENCHING SHALL BE AT A MINIMUM OF 24" DEEP. ROOT PRUNE ONLY WITH A MECHANICAL ROOT-PRUNING SAW OR A TRENCHER WITH A MAXIMUM TRENCH WIDTH OF 8".
 - 1.4. ALL EXPOSED ROOTS SHALL BE CUT OFF SMOOTHLY, WITH SHARP INSTRUMENTS. BACKFILL TRENCHES WITH SOIL CONSISTING OF 30% SILICA SAND AND 70% MUCK. WATER THOROUGHLY AFTER ROOT PRUNING, AND ONCE WEEKLY DURING THE ROOT REGENERATION PERIOD, WITH A SOLUBLE FERTILIZER THAT HAS A 20-20-20 ANALYSIS AT MANUFACTURER'S RECOMMENDED RATE.
2. **BRACING AND GUYING OF TREES AFTER ROOT PRUNING**
 - 2.1. BRACING AND GUYING SHALL BE PROVIDED TO ASSURE THE TREES' STABILITY DURING THE ROOT REGENERATION PERIOD, AS PER THE APPLICABLE DETAILS.
3. **ROOT ZONE PROTECTION**
 - 3.1. DURING THE ENTIRE CONSTRUCTION PERIOD ALL REASONABLE EFFORTS SHALL BE MADE TO PROTECT THE ROOT ZONE FROM DAMAGE. TREE PROTECTION BARRICADEING SHALL BE ERECTED AROUND THE TREES. ALL PLANT MATERIAL DESIGNATED TO BE SAVED, OR OUTSIDE OF THE LIMITS OF CONSTRUCTION, SHALL BE PROTECTED DURING CONSTRUCTION WORK. WORK UNDER THESE ITEMS WILL INCLUDE CONSTRUCTION AND MAINTENANCE OF TEMPORARY BARRICADE FENCING TO PROTECT THE ROOT ZONES OF EXISTING TREES AND OTHER PLANTINGS.
 - 3.2. A PROTECTION BARRIER OR TEMPORARY FENCE OF AT LEAST 4 FEET IN HEIGHT SHALL BE INSTALLED AROUND EACH TREE TO BE PROTECTED AND PRESERVED. THE TREE PROTECTION SHALL BE INSTALLED PRIOR TO THE ACTUAL CONSTRUCTION START AND MAINTAINED FOR THE DURATION OF THE PROJECT.
 - 3.3. TREE BARRICADE FENCING SHALL BE AS PER THE APPLICABLE DETAILS.

LEGENDS



NOTES

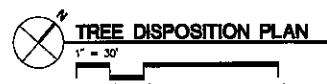
- NOTES:
1. THESE EXISTING CONDITIONS (E.C. DRAWINGS) WERE BASED ON THE SURVEY PREPARED BY [FIRM] & ASSOCIATES, FOR [DATE]. DATE OF SURVEY: [DATE]. ADDITIONAL INFORMATION NOT OBTAINED FROM A FIELD AND RECORD DRAWING PROVIDED BY UTILITY COMPANIES. SEE INFORMATION AND FIELD NOTES.
 2. ALL ELEVATIONS REFER TO NGVD 1988 DATUM.
 3. BORINGS UTILIZED SHOWN BASED ON FIELD RECORDS AND BEST AVAILABLE INFORMATION. CONTRACTOR TO FIELD LOCATE AND CONFIRM ALL UTILITIES, WHETHER SHOWN OR NOT, PRIOR TO ANY CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
 4. TREE LOCATIONS WERE FIELD DETERMINED ON 08/23/14. LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE. CONTRACTOR TO COORDINATE WITH AMESCHKE ARCHITECT IF DISCREPANCY EXISTING BETWEEN PLAN AND FIELD CONDITIONS.

DATUM INFORMATION

ALL ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS ARE BASED ON NGVD 1988 DATUM. ELEV. HAD BE 1/8" EQUIVALENT TO 1.263' NGVD 28.

Always call 811 two full business days before you dig to have underground utilities located and marked.

Sunshine811.com



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**AMOP Member Services Bldg
 American Maritime Officers Plans
 2 Dixie Highway, Dania Beach, FL 33004**

Construction Documents - Site Plan Approval Package - Re-Submittal February 5, 2015

Comm. No: 13083.00
 Date: 02/05/2015
 Drawn: CMP
 Revised:
 02/05/15
 03/09/15

ERIC D. HARRISON, FLA. LANDSCAPE ARCHITECT
 FL. REG. NO. 6667129
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L1.01

TREE INVENTORY TABULATIONS

TREE #	COMMON NAME	BOTANICAL NAME	CT (FT.)	HGT (FT.)	SPREAD (FT.)	AREA (SQ.)	DBH (IN.)	CONDITION	COMMENTS	DISPOSITION
1	PYGMY DATE PALM	PHOENIX ROBELENI	5.5	18		254.34		FAIR	TRIPLE TRUNK	TO BE REMOVED
2	PYGMY DATE PALM	PHOENIX ROBELENI	5.5	12		113.04		FAIR	DOUBLE TRUNK	TO BE REMOVED
3	PYGMY DATE PALM	PHOENIX ROBELENI	7	6		28.26		FAIR		TO BE REMOVED
4	PYGMY DATE PALM	PHOENIX ROBELENI	5	6		28.26		FAIR/POOR	SINGLE TRUNK W/ STUMP	TO BE REMOVED
5	PYGMY DATE PALM	PHOENIX ROBELENI	6	18		254.34		FAIR	TRIPLE TRUNK	TO BE REMOVED
6	QUEEN PALM	STAGNUS ROMANOFFIANA	22	20		314.00		FAIR/POOR		TO BE REMOVED
7	QUEEN PALM	STAGNUS ROMANOFFIANA	15	20		314.00		FAIR/POOR		TO BE REMOVED
8	QUEEN PALM	STAGNUS ROMANOFFIANA	14	20		314.00		FAIR/POOR	DOUBLE TRUNK	TO BE REMOVED
9	QUEEN PALM	STAGNUS ROMANOFFIANA	25	20		314.00		POOR		TO BE REMOVED
10	PYGMY DATE PALM	PHOENIX ROBELENI	7	5		28.26		FAIR		TO BE REMOVED
11	PONGAM	PONGAMIA PINNATA	30	40		1254.00	28	POOR	SUCKERING ROOTS/FUNGUS AT BASE/DRY ROT	TO BE REMOVED
12	PONGAM	PONGAMIA PINNATA	30	54		2289.06	28	POOR	DRY ROT/CIRCUING ROOTS	TO BE REMOVED
13	CABBAGE PALM	SABAL PALMETTO	16	12		113.04		FAIR/POOR		TO BE REMOVED
14	QUEEN PALM	STAGNUS ROMANOFFIANA	22	20		314.00		FAIR		TO BE REMOVED
15	PYGMY DATE PALM	PHOENIX ROBELENI	6.5	6		28.26		POOR	DOUBLE TRUNK W/ DEAD HEAD	TO BE REMOVED
16	QUEEN PALM	STAGNUS ROMANOFFIANA	22	20		314.00		FAIR		TO BE REMOVED
17	MONTGOMERY PALM	VEITCHIA MONTGOMERYANA	25	12		113.04		FAIR		TO BE REMOVED
18	MONTGOMERY PALM	VEITCHIA MONTGOMERYANA	25	12		113.04		FAIR		TO BE REMOVED
19	SILVER LANTANA	COCCONUCIFERA	20	20		314.00	10	POOR	SPARSE CANOPY/YELING/DRY ROT	TO BE REMOVED
20	CABBAGE PALM	SABAL PALMETTO	22	12		113.04		FAIR/POOR		TO BE REMOVED
21	CABBAGE PALM	SABAL PALMETTO	16	12		113.04		POOR		TO BE REMOVED
22	CABBAGE PALM	SABAL PALMETTO	22	12		113.04		FAIR/POOR		TO BE REMOVED
23	CABBAGE PALM	SABAL PALMETTO	22	12		113.04		FAIR/POOR		TO BE REMOVED
24	UMBRELLA TREE	SCHIPPERIA ACTINOPHYLLA	30	24		482.16	39	FAIR/POOR	MULTI TRUNK, INVASIVE EXOTIC	TO BE REMOVED
25	COCONUT PALM	COCCONUCIFERA	30	20		314.00		FAIR/POOR		TO BE REMOVED
26	PINK TABERNA	TABERNA HETEROPHYLLA	35	27		854.87	14	FAIR/POOR		TO BE REMOVED
27	JAIROPHIA	JAIROPHIA INTEGERRIMA	12	16		200.96	22	FAIR	MULTI TRUNK	TO BE REMOVED
28	PYGMY DATE PALM	PHOENIX ROBELENI	7	6		28.26		FAIR	TRIPLE TRUNK	TO BE REMOVED
29	COCONUT PALM	COCCONUCIFERA	25	20		314.00		FAIR	TRUNK DAMAGE	TO BE REMOVED
30	PINK TABERNA	TABERNA HETEROPHYLLA	18	18		254.34	8.5	FAIR/POOR	INCLUDED BARK/TRUNK DAMAGE	TO BE REMOVED
31	ROYAL PALM	ROYSTONIA ELATA	25	25		490.63		FAIR	HEAVY TRUNK	TO BE REMOVED
32	ANGEL PALM	CHRYSALEUCARIS LUBRICANS	22	12		113.04		FAIR		TO BE REMOVED
33	PINK TABERNA	TABERNA HETEROPHYLLA	25	12		113.04	6	FAIR/POOR	INSECT DAMAGE/PINNING SCAMS	TO BE REMOVED
34	GUAVA	PSIDIA GUAJAVA	9	6		28.26	8	FAIR	MULTI TRUNK	TO BE REMOVED
35	GUAVA	PSIDIA GUAJAVA	9	6		28.26	8	FAIR	MULTI TRUNK	TO BE REMOVED
36	GUAVA	PSIDIA GUAJAVA	9	6		28.26	8	FAIR	MULTI TRUNK	TO BE REMOVED
37	QUEEN PALM	STAGNUS ROMANOFFIANA	24	20		314.00		FAIR/POOR	PINNING HEAD	TO BE REMOVED
38	QUEEN PALM	STAGNUS ROMANOFFIANA	14					FAIR		REMAIN
39	FOXGL PALM	WOODEIA BIFURCATA	10					FAIR	DOUBLE/ MILD CHLOROSIS	REMAIN
40	QUEEN PALM	STAGNUS ROMANOFFIANA	10					FAIR		REMAIN
41	CRAPE MYRTLE	LAGERSTROMIA SPP.	27	33		854.87		FAIR	MULTI TRUNK	TO BE REMOVED
42	CABBAGE PALM	SABAL PALMETTO	16	12		113.04		FAIR		TO BE REMOVED
43	CABBAGE PALM	SABAL PALMETTO	18	12		113.04		FAIR		TO BE REMOVED
44	CABBAGE PALM	SABAL PALMETTO	14	12		113.04		FAIR		TO BE REMOVED
45	PYGMY DATE PALM	PHOENIX ROBELENI	5	6		28.26		FAIR		TO BE REMOVED
46	CRAPE MYRTLE	LAGERSTROMIA SPP.	14	10		78.50	12	FAIR	MULTI TRUNK	TO BE REMOVED
47	LIVE OAK	QUERCUS VIRGINIANA	30	30		492.14	17	FAIR/POOR	MULTI TRUNK/ OVER CROWDED CANOPY	TO BE REMOVED
48	LIVE OAK	QUERCUS VIRGINIANA	30	30		704.50	30	FAIR		TO BE REMOVED
49	WASHINGTON PALM	WASHINGTONIA ROBUSTA	30	12		113.04		FAIR/POOR	PINNING HEAD	TO BE REMOVED
50	PYGMY DATE PALM	PHOENIX ROBELENI	5	6		28.26		FAIR	SINGLE TRUNK	TO BE REMOVED
51	PYGMY DATE PALM	PHOENIX ROBELENI	5	6		28.26		FAIR	SINGLE TRUNK	TO BE REMOVED
52	PYGMY DATE PALM	PHOENIX ROBELENI	5	6		28.26		FAIR	SINGLE TRUNK	TO BE REMOVED
53	PYGMY DATE PALM	PHOENIX ROBELENI	5	6		28.26		FAIR	SINGLE TRUNK	TO BE REMOVED
54	PYGMY DATE PALM	PHOENIX ROBELENI	5	6		28.26		FAIR	SINGLE TRUNK	TO BE REMOVED
55	PYGMY DATE PALM	PHOENIX ROBELENI	5	6		28.26		FAIR	SINGLE TRUNK	TO BE REMOVED
56	LIVE OAK	QUERCUS VIRGINIANA	30	30		492.14	18	FAIR/POOR	TRIMMED FOR OHW/SUCKERING ROOTS	REMAIN
57	LIVE OAK	QUERCUS VIRGINIANA	30	30		492.14	18	FAIR/POOR	TRIMMED FOR OHW	REMAIN
58	QUEEN PALM	STAGNUS ROMANOFFIANA	16					FAIR/POOR		REMAIN
59	QUEEN PALM	STAGNUS ROMANOFFIANA	16					FAIR/POOR		REMAIN
60	QUEEN PALM	STAGNUS ROMANOFFIANA	15					FAIR		TO BE REMOVED
61	QUEEN PALM	STAGNUS ROMANOFFIANA	15	20		314.00		FAIR		TO BE REMOVED
62	QUEEN PALM	STAGNUS ROMANOFFIANA	15	20		314.00		FAIR		TO BE REMOVED
63	QUEEN PALM	STAGNUS ROMANOFFIANA	14	20		314.00		FAIR/POOR	PINNING/BENT HEAD	TO BE REMOVED
64	LIVE OAK	QUERCUS VIRGINIANA	20	27		872.27	11	FAIR		TO BE REMOVED
65	ROYAL PALM	ROYSTONIA ELATA	30	25		490.63		FAIR	HEAVY TRUNK	TO BE REMOVED
66	LIVE OAK	QUERCUS VIRGINIANA	3	36		1017.36	14	FAIR		TO BE REMOVED
67	CABBAGE PALM	SABAL PALMETTO	12	12		113.04		FAIR/POOR	PINNING/BENT HEAD	TO BE REMOVED
68	CABBAGE PALM	SABAL PALMETTO	12	12		113.04		FAIR/POOR	BENT HEAD	TO BE REMOVED
69	CABBAGE PALM	SABAL PALMETTO	12	12		113.04		FAIR/POOR	PINNING/BENT HEAD	TO BE REMOVED
70	PYGMY DATE PALM	PHOENIX ROBELENI	5	6		28.26		FAIR		TO BE REMOVED
71	GUAVA	PSIDIA GUAJAVA	7	6		28.26	2	FAIR	MULTI TRUNK	TO BE REMOVED
72	GUAVA	PSIDIA GUAJAVA	10	12		113.04	6	FAIR	MULTI TRUNK	TO BE REMOVED
73	GUAVA	PSIDIA GUAJAVA	8	12		113.04	6	FAIR	MULTI TRUNK	TO BE REMOVED
74	GUAVA	PSIDIA GUAJAVA	10	12		113.04	6	FAIR	MULTI TRUNK	TO BE REMOVED
75	QUEEN PALM	STAGNUS ROMANOFFIANA	22	20		314.00		FAIR		TO BE REMOVED
76	CRAPE MYRTLE	LAGERSTROMIA SPP.	25	15		174.63	14	FAIR	MULTI TRUNK	TO BE REMOVED
77	CRAPE MYRTLE	LAGERSTROMIA SPP.	25	15		174.63	20	FAIR	MULTI TRUNK	TO BE REMOVED
78	CRAPE MYRTLE	LAGERSTROMIA SPP.	25	15		174.63	24	FAIR	MULTI TRUNK	TO BE REMOVED
79	GUAVA	PSIDIA GUAJAVA	10	10		78.50	12	FAIR	MULTI TRUNK	TO BE REMOVED
80	PINK TABERNA	TABERNA HETEROPHYLLA	7	4		12.56	1	FAIR		TO BE REMOVED
81	UNKNOWN	UNKNOWN	10	6		28.26	2	FAIR/POOR	LARGE SHRUB	TO BE REMOVED
82	UNKNOWN	UNKNOWN	15	15		174.63	12	FAIR/POOR	LARGE SHRUB/MULTI TRUNK	TO BE REMOVED
83	UNKNOWN	UNKNOWN	12	12		113.04	8	FAIR/POOR	LARGE SHRUB/MULTI TRUNK	TO BE REMOVED
84	WASHINGTON PALM	WASHINGTONIA ROBUSTA	30	12		113.04		FAIR/POOR	PINNING HEAD/NEAR OHW	TO BE REMOVED
85	WASHINGTON PALM	WASHINGTONIA ROBUSTA	30	12		113.04		FAIR/POOR	PINNING HEAD/NEAR OHW	TO BE REMOVED
86	WASHINGTON PALM	WASHINGTONIA ROBUSTA	30	12		113.04		FAIR/POOR	PINNING HEAD/NEAR OHW	TO BE REMOVED
87	PINK TABERNA	TABERNA HETEROPHYLLA	7	6		28.26	4	FAIR	MULTI TRUNK	TO BE REMOVED
88	JAIROPHIA	JAIROPHIA INTEGERRIMA	8	10		78.50	12	FAIR	MULTI TRUNK	TO BE REMOVED

TOTAL TREE CANOPY SQUARE FOOTAGE TO BE REMOVED			18715.97
TOTAL OF CATEGORY 1 TREES REQUIRED TO MITIGATE TREE CANOPY LOST DUE TO SITE IMPROVEMENTS			63
TREE REPLACEMENT CRITERIA	TREE CATEGORY	EQUIVALENT REPLACEMENT VALUE (EV)	
12" H. X 2" DBH	1	300	
8" H.	2	150	
6" H.	3	100	
6" CT. (PALMS)	3	50	

ESTIMATED DOLLAR VALUE OF SPECIMEN TREES TABULATIONS

BASE VALUE OF COMPARABLE TREE	TRUNK DIAMETER (DBH)	CROSS SECTION AREA (SQ. FT.)	COST PER REPLACEMENT TREE	COST PER DBH	CLEAR TRUNK/ GRASSWOOD PALMS COST PER FOOT				
PONGAM	3	7.1	\$437.50	\$145.83					
LIVE OAK	6	28.3	\$1,375.00	\$229.17					
JAIROPHIA	2	3.1	\$200.00	\$100.00					
CRAPE MYRTLE	4	12.6	\$380.00	\$30.24					
ROYAL PALM	18	254.47			\$142.00				

SPECIMEN TREES TO BE REMOVED (18" DBH)	TREE ID NUMBER (REFER TO TREE INVENTORY TABLE, SHEET L.1.02)	TRUNK DIAMETER (DBH)	TRUNK AREA (SQ. FT.)	CLEAR TRUNK	SPECIES CLASS	CONDITION RATING	SITE CONTRIBUTION	REPLACEMENT COST (COST PER DBH X SITE AREA)	VALUE OF EXISTING TREE
PONGAM/PONGAMIA PINNATA	11	28	615.8	0.7	0.6	0.7	\$1.89	\$1,204.67	\$1,204.67
PONGAM/PONGAMIA PINNATA	12	28	615.8	0.7	0.6	0.7	\$1.89	\$1,204.67	\$1,204.67
UMBRELLA TREE/SCHIPPERIA ACTINOPHYLLA	24	39	1194.4	0.1	0.6	0.7	\$40.63	\$2,439.94	\$2,439.94
JAIROPHIA/JAIROPHIA INTEGERRIMA	27	22	380.1	0.6	0.7	0.7	\$63.64	\$7,114.80	\$7,114.80
LIVE OAK/QUERCUS VIRGINIANA	48	30	706.9	0.7	0.7	0.6	\$48.63	\$10,106.25	\$10,106.25
LIVE OAK/QUERCUS VIRGINIANA	55	18	254.5	0.7	0.6	0.6	\$48.63	\$2,079.00	\$2,079.00
LIVE OAK/QUERCUS VIRGINIANA	57	18	254.5	0.7	0.6	0.6	\$48.63	\$2,079.00	\$2,079.00
CRAPE MYRTLE/LAGERSTROMIA SPP.	77	20	314.2	0.7	0.7	0.6	\$30.24	\$2,793.00	\$2,793.00
CRAPE MYRTLE/LAGERSTROMIA SPP.	78	20	314.2	0.7	0.7	0.6	\$30.24	\$2,793.00	\$2,793.00

SPECIMEN PALMS TO BE REMOVED (18" DBH AND 4" CT)	TREE ID NUMBER	TRUNK DIAMETER (DBH)	TRUNK AREA (SQ. FT.)	CLEAR TRUNK	SPECIES CLASS	CONDITION RATING	SITE CONTRIBUTION	REPLACEMENT COST (COST PER DBH X SITE AREA)	VALUE OF EXISTING TREE
ROYAL PALM/ROYSTONIA ELATA	31			25	0.8	0.8	0.7	\$162.50	\$1,820.00
ROYAL PALM/ROYSTONIA ELATA	65			30	0.8	0.8	0.7	\$162.50	\$2,160.00

ESTIMATED TOTAL DOLLAR VALUE OF SPECIMEN TREES \$55,815.33

*LIVE OAK REPLACEMENT COST SUBSTITUTED FOR UMBRELLA TREE (INVASIVE EXOTIC)

ROOT PRUNING EXISTING TREES TO REMAIN IN CLOSE PROXIMITY TO CONSTRUCTION ACTIVITIES

- ROOT PRUNING AND WATERING PRIOR TO CONSTRUCTION:**
 - TREE ROOT PRUNING AND TRIMMING SHALL BE PERFORMED UNDER THE SUPERVISION OF A CERTIFIED & LICENSED ARBORIST.
 - ROOT PRUNE TREES A MINIMUM OF 6" BE WEST PRIOR TO CONSTRUCTION. PRIOR TO ROOT PRUNING, THROUGHOUT WATER THE ROOT ZONE WITH AT LEAST 2 TO 3 INCHES OF WATER FOR 2 TO 3 DAYS PRIOR TO ROOT PRUNING. SEE BELOW FOR REDUCED WATERING.
- ROOT PRUNING:**
 - PROVIDE TEMPORARY BARRICADE FOR EACH TREE THROUGHOUT THE DURATION OF CONSTRUCTION.
 - ROOT PRUNE TREES, SHOW ON PLAN IN AREAS WHERE ROOTS WILL CONFLICT WITH CONSTRUCTION ACTIVITY. PRUNING OF ROOTS SHOULD BE DONE IN A MANNER TO PRESERVE THE GREATEST AMOUNT OF THE ROOT BASE AS POSSIBLE.
 - SACKLIL TRENCH WITH FLOWING SOIL.
 - FERTILIZE WITHIN THE ROOT ZONE (SEE NOTE 1.4).
- ROOT PRUNING SHALL BE ACCOMPLISHED BY DIGGING A TRENCH AROUND THE TREE IN AREAS WHERE PROPOSED SITE WORK WILL BE PERFORMED. TRENCHING SHALL BE AT A MINIMUM OF 24" DEEP. ROOT PRUNE ONLY WITH A MECHANICAL ROOT-PRUNING SAW OR A TRENCHER WITH A MANUALLY TRENCH WIDTH OF 2".**
 - ALL EXPOSED ROOTS SHALL BE CUT OFF SHARPLY, WITH SHARP BITED TOOLS, BACKWILL TRENCHES WITH SOIL, CONSISTING OF 50% SIEVE #20 SAND AND 50% MULCH. WATER THOROUGHLY AFTER ROOT PRUNING, AND ONCE WEEKLY DURING THE ROOT REGENERATION PERIOD, WITH A SOLUBLE FERTILIZER THAT HAS A 20-20-20 ANALYSIS AT MANUFACTURER'S RECOMMENDED RATE.
- BRACING AND STUMPING OF TREES AFTER ROOT PRUNING:**
 - BRACING AND STUMPING SHALL BE PROVIDED TO ASSURE THE TREE'S STABILITY DURING THE ROOT REGENERATION PERIOD, AS PER THE APPLICABLE DETAILS.
- ROOT ZONE PROTECTION:**
 - DURING THE ENTIRE CONSTRUCTION PERIOD ALL REASONABLE EFFORTS SHALL BE MADE TO PROTECT THE ROOT ZONE FROM DAMAGE. TREE PROTECTION BARRICADING SHALL BE ERRECTED AROUND THE TREES. ALL PLANT MATERIAL DESIGNATED TO BE SAVED, OR OUTSIDE OF THE LIMITS OF CONSTRUCTION, SHALL BE PROTECTED DURING CONSTRUCTION WORK. WORK UNDER THESE TREES WILL INCLUDE CONSTRUCTION AND MAINTENANCE OF TEMPORARY BARRICADE FENCING TO PROTECT THE ROOT ZONES OF EXISTING TREES AND OTHER PLANTINGS.
 - A PROTECTION BARRIER OR TEMPORARY FENCE OF AT LEAST 4 FEET IN HEIGHT SHALL BE INSTALLED AROUND EACH TREE TO BE PROTECTED AND PRESERVED. THE TREE PROTECTION SHALL BE INSTALLED PRIOR TO THE ACTUAL CONSTRUCTION START AND MAINTAINED FOR THE DURATION OF THE PROJECT.
 - TREE BARRICADE FENCING SHALL BE AS PER THE APPLICABLE DETAILS.

HARVARD JOLLY ARCHITECTURE

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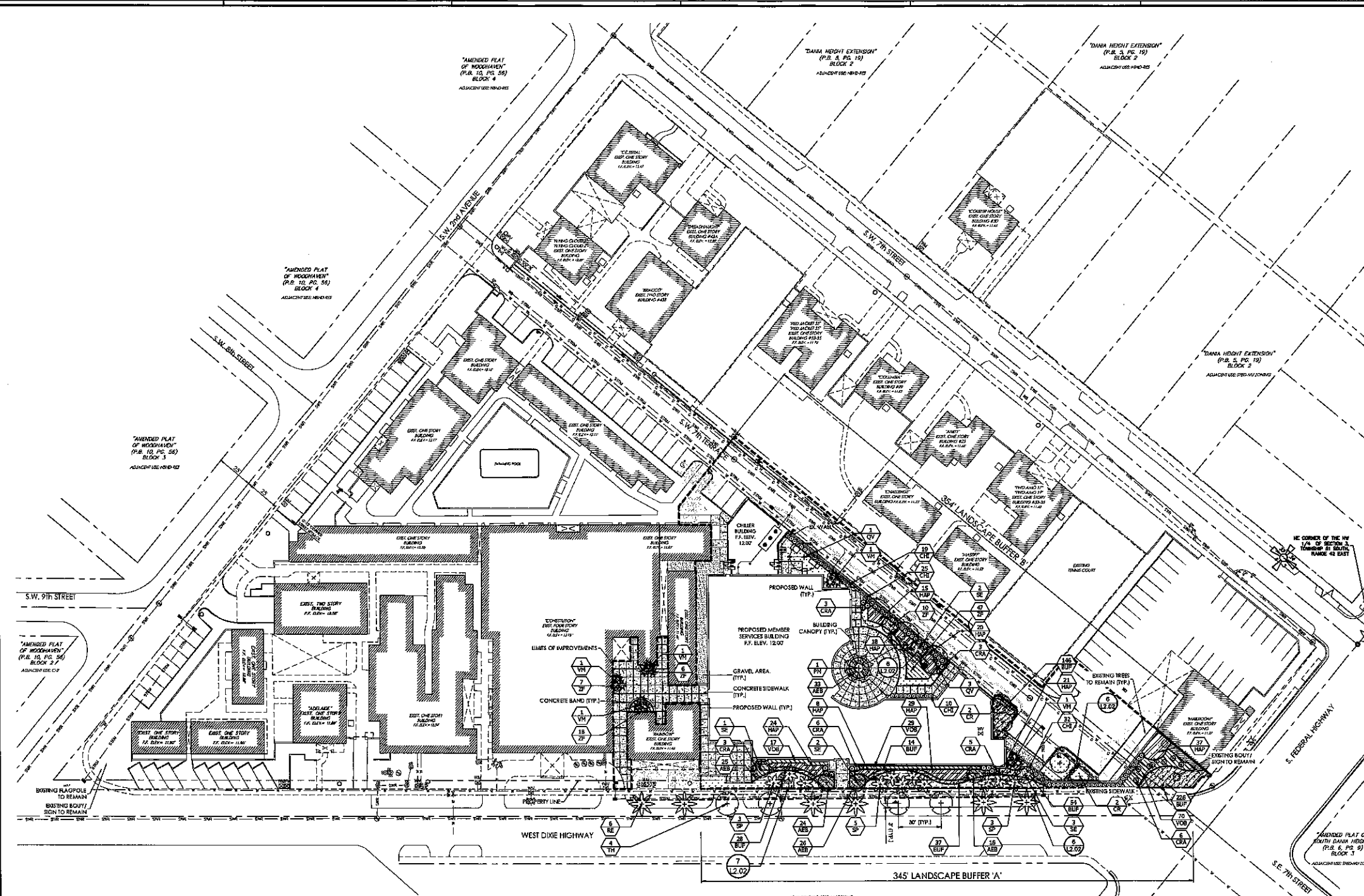
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**AMOP Member Services Bldg
 American Maritime Officers Plans
 2 Dixie Highway, Dania Beach, FL 33004**
 Construction Documents - Site Plan Approval Package - Re-Submittal February 5, 2015

Comm. No: 12053.00
 Date: 02/05/2015
 Drawn: CMP
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 REVIEW COMMENTS
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 DRC Comments
 03/09/15

AT THE TOP OF THE DRAWING, THE PLAN OR PORTION THEREOF SHALL BE PROTECTED BY A FENCE OR BARRICADE.

ERIC D. HARRISON, P.L.A.
 LANDSCAPE ARCHITECT
 FL REG. NO. 66712
 2915 HARVARD JOLLY, INC.



LEGENDS

TREES	CODE	COMMON NAME / BOTANICAL NAME
	PA	Date Palm / Phoenix dactyloides 'Mediod'
	QV	Cathedral Live Oak / Quercus virginiana 'Cathedral'
	RE	Florida Royal Palm / Roystonea elata
	SP	Cabbage Palmetto / Sabal palmetto
	SE	Glossy Shower / Scaevola taccada
	TH	Pink Tabebuia / Tabebuia heterophylla
	VM	Montgomery Palm / Velechia montgomeryana
SHRUBS	CODE	COMMON NAME / BOTANICAL NAME
	CH	Red Tip Coccoloba / Chrysobothris indica 'Red Tip'
	CR	'Queen Emma' Citrus / Citrus aurantium 'Queen Emma'
SHRUB AREAS	CODE	COMMON NAME / BOTANICAL NAME
	AB	Orange Bromeliad / Anacardium bichenchiana
	BF	Walked Eulalia / Batisia hirsutissima 'Walked'
	HAP	Pink Bush / Hamelia patens
	VOB	Walter's Viburnum / Viburnum coccineum 'Miss Emma Delight'
	ZF	Coorile Palm / Zamia floridana
GROUND COVERS	CODE	COMMON NAME / BOTANICAL NAME
	SOD	St. Augustine Grass / Stenotaphrum secundatum

NOTES

- THESE EXISTING CONDITIONS (EC) DRAWINGS WERE BASED ON THE SURVEY PREPARED BY JVS&S ASSOCIATES, P.O. BOX 201, DANA BEACH, FL 33428. ADDITIONAL INFORMATION WAS OBTAINED FROM AS-BUILT AND RECORD DRAWINGS PROVIDED BY THE CLIENT. COMPLETE ALL INFORMATION AND FIELD WITH ALL ELEVATIONS REFER TO NGVD 1929 DATUM.
- EXISTING UTILITIES SHOWN BASED ON UTILITY AS-BUILTS AND BEST AVAILABLE INFORMATION. CONTRACTOR TO FIELD LOCATE AND CORRELATE ALL UTILITIES, WHETHER SHOWN OR NOT, PRIOR TO ANY CONSTRUCTION & NOTIFY ENGINEER OF ANY DISCREPANCIES.
- TREE LOCATIONS WERE FIELD VERIFIED ON 08/21/15. LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE. CONTRACTOR TO CORRELATE WITH LANDSCAPE ARCHITECT'S FIELD SURVEY. EXISTING BETWEEN PLAN AND FIELD CONDITIONS.
- REFER TO ARCHITECTURAL AND CIVIL OR LANDSCAPE PLANS FOR PROPOSED MATERIAL, COLOR AND/OR METHODS OF CONSTRUCTION AND DETAILS.

DATUM INFORMATION:
ALL ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS ARE BASED ON NAVD 1983 DATUM. NAVD 1983 IS EQUIVALENT TO 1.328' NGVD 29.

LANDSCAPE BUFFER 'A'
1) THIS BUFFER HAS BEEN ESTABLISHED WITH COCONUT PALMS TO BE CONSISTENT WITH TYPICAL CURB STREET TREES FOUND ON FEDERAL HIGHWAY, PER THE CITY OF DANA BEACH CEA.
2) THE FRONT OF THE BUILDING ALONG DOW HIGHWAY, THERE HAS BEEN A FOUNDATION PLANTING PROVIDED IN LIEU OF A CONTINUOUS HEDGE AS CALLED FOR IN THE STANDARDS FOR THE PERMITS LANDSCAPE BUFFER.

LANDSCAPE BUFFER 'B'
1) THIS BUFFER HAS BEEN AN EXISTING WALL ALONG THE RIGHT OF WAY AND A STANDARD PERMITS BUFFER PLANTING WAS IMPLEMENTED TO THE EXTENT POSSIBLE. PROVIDING CANOPY TREES WHERE FEASIBLE AND A HEDGE ALONG THE REAR OF THE WALL.
2) THE FRONT OF THE BUILDING ALONG DOW THERE HAS BEEN A FOUNDATION PLANTING PROVIDED IN LIEU OF A CONTINUOUS HEDGE AS CALLED FOR IN THE STANDARDS FOR THE PERMITS LANDSCAPE BUFFER.

CITY OF DANIA BEACH STANDARD LANDSCAPE NOTES

- A PRE-CONSTRUCTION MEETING WITH THE DANIA BEACH CITY ARBORIST IS REQUIRED PRIOR TO LANDSCAPING ACTIVITIES INCLUDING REMOVAL OF TREES AND/OR INSTALLATION OF PLANT MATERIAL. CALL 354-924-0425 A MINIMUM OF 5 DAYS PRIOR TO DESIRED START DATE TO SCHEDULE PRE-CONSTRUCTION MEETING.
- ALL EXISTING TREES PROPOSED TO REMAIN ARE TO BE SEPARATED FROM THE LIMITS OF DISTURBANCE OF THE CONSTRUCTION AREA BY THE PROTECTION BENCH AND SIGNAGE. THE TREE PROTECTION BENCH SHALL BE LOCATED AT THE EDGE OF THE TREE PROTECTION ZONE AS DEPICTED ON THE PLAN OR AT THE EDGE OF THE (PLUMBERS) IF A TREE PROTECTION ZONE IS NOT DESIGNATED. NO MATERIAL STORAGE OR CONSTRUCTION ACCESS IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
- ALL EXISTING TREES SHALL BE RETURNED TO ANSI-A400 STANDARDS TO CORRECT POTENTIAL HAZARDS.
- A TREE REMOVAL PERMIT IS REQUIRED PRIOR TO REMOVAL OR RELOCATION OF ANY TREE OR PALM. CONTACT THE DANIA BEACH CITY ARBORIST AT 354-924-0405 TO OBTAIN PERMIT INFORMATION.
- LANDSCAPE CONTRACTOR SHALL NOTIFY BUSINESS ONE CALL OF FLORIDA, INC. AT 1-800-432-4770 A MINIMUM OF 2 FULL BUSINESS DAYS PRIOR TO DIGGING. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR AVOIDING DAMAGE TO UTILITIES FROM PLANT INSTALLATION.
- TREE RELOCATION:
 - EXISTING TREES TO BE RELOCATED SHALL BE CUT OR PRUNED A MINIMUM OF 120 DAYS PRIOR TO RELOCATION.
 - MINIMUM ROOT BALL SIZES SHALL BE IN ACCORDANCE WITH ANSI STANDARDS AS FOLLOWS:

CALIPER	MINIMUM ROOT BALL DIAMETER
1	16
2	24
3	32
4	42
5	54
6	66
7	78
8	90

 12 INCHES PER INCH OF TRUNK DIAMETER.
 - TRANSPLANTED TREES WITH UNDRILLED ROOT BALLS MAY BE REJECTED BY THE CITY ARBORIST AND REPLACEMENT TREES MAY BE REQUIRED.
 - A TEMPORARY IRRIGATION SYSTEM SHALL BE PROVIDED DURING AND FOR THE FIRST 40 DAYS AFTER ROOT PRUNING.
- ALL PLANTING MUST FOLLOW PLANNING SPECIFICATIONS AND DETAILS SHOWN ON THE PLAN.
- SUBSTITUTIONS OF PLANT SPECIES OR SPECIFICATIONS MUST BE APPROVED IN WRITING BY THE DANIA BEACH CITY ARBORIST PRIOR TO USE.

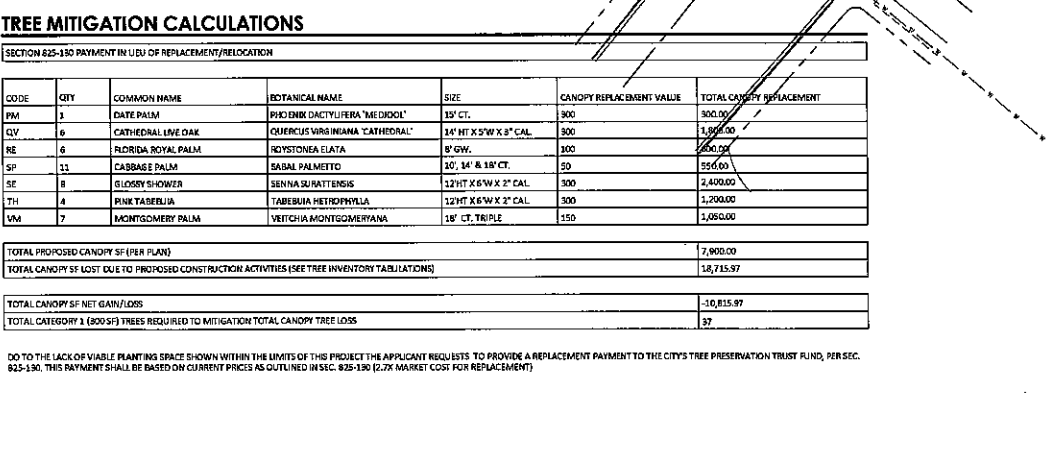
SEE SHEET 13.03 FOR SUPPLEMENTAL NOTES

TREE MITIGATION CALCULATIONS

SECTION 625-130 PAYMENT IN LIEU OF REPLACEMENT/RELOCATION

CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	CANOPY REPLACEMENT VALUE	TOTAL CANOPY REPLACEMENT
PA	3	DATE PALM	PHOENIX DACTYLOPHERA 'MEDIOD'	12" CT.	300	900.00
QV	6	CATHEDRAL LIVE OAK	QUERCUS VIRGINIANA 'CATHEDRAL'	14" HT X 5" W X 5" CAL.	300	1,800.00
RE	6	FLORIDA ROYAL PALM	ROYSTONIA ELATA	8" DIA.	300	1,800.00
SP	11	CABBAGE PALM	SABAL PALMETTO	30" HT X 6" W X 2" CAL.	50	550.00
SE	8	GLOSSY SHOWER	SCAEOLEA TACCADA	12" HT X 6" W X 2" CAL.	300	2,400.00
TH	4	PINK TABEBUIA	TABEBUIA HETEROPHYLLA	12" HT X 6" W X 2" CAL.	300	1,200.00
VM	7	MONTGOMERY PALM	VELECHIA MONTGOMERYANA	16" CT. TRIPLE	150	1,050.00
TOTAL PROPOSED CANOPY SF (PER PLAN)						7,900.00
TOTAL CANOPY SF LOST DUE TO PROPOSED CONSTRUCTION ACTIVITIES (SEE TREE INVENTORY TABLES)						18,715.97
TOTAL CANOPY SF NET GAIN/LOSS						-10,815.97
TOTAL CATEGORY 1 (800SF) TREES REQUIRED TO MITIGATE TOTAL CANOPY TREE LOSS						37

DO TO THE LACK OF VIABLE PLANTING SPACE SHOWN WITHIN THE LIMITS OF THIS PROJECT THE APPLICANT REQUESTS TO PROVIDE A REPLACEMENT PAYMENT TO THE CITY'S TREE PRESERVATION TRUST FUND, PER SEC. 625-130. THIS PAYMENT SHALL BE BASED ON CURRENT PRICES AS OUTLINED IN SEC. 625-130 (2.7X MARKET COST FOR REPLACEMENT)



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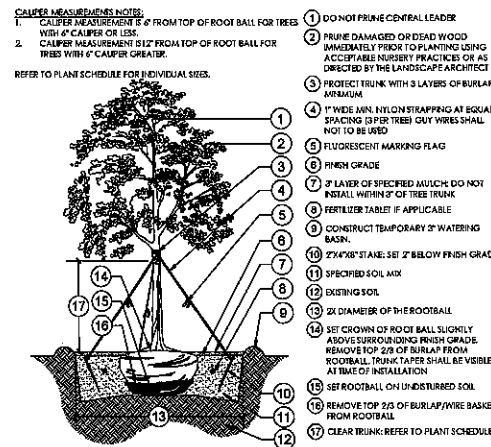
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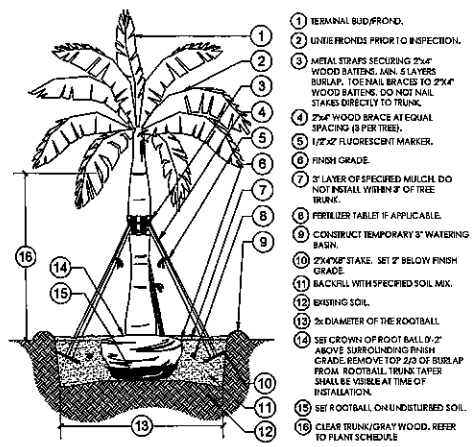
Comm. No: 13083.00
Date: 02/05/2015
Drawn: CMP
Reviewed: [Signature]
REVIEW COMMENTS: DRC Comments 02/09/15

ERIC D. HARRISON, RLA
LANDSCAPE ARCHITECT
FL REG. NO. 889729
20215 HARVARD JOLLY, INC.

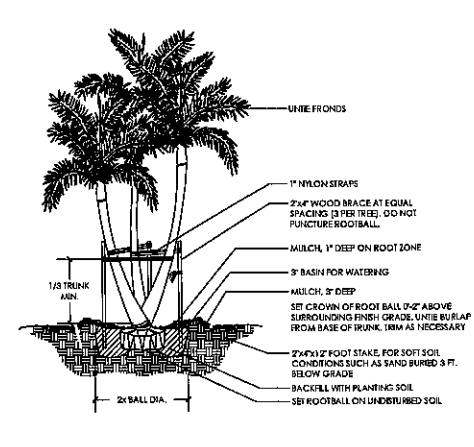
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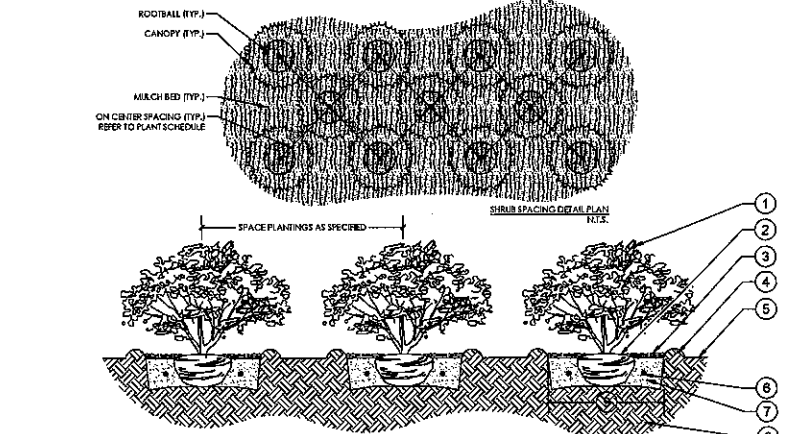
1 LARGE TREE PLANTING: 2" CALIPER AND GREATER
1/4" = 1'-0"
32 9343-17



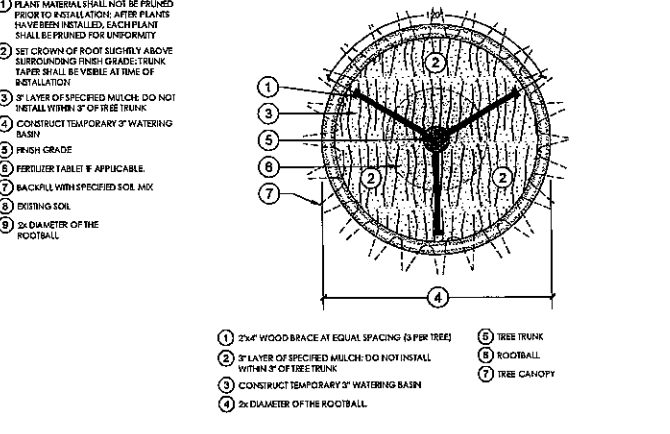
2 LARGE PALM PLANTING DETAIL
1/4" = 1'-0"
32 9343-25



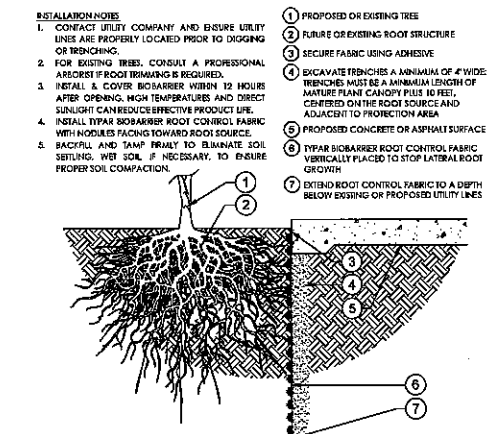
3 MULTI-TRUNK PALM PLANTING DETAIL
3/8" = 1'-0"
32 9343-08



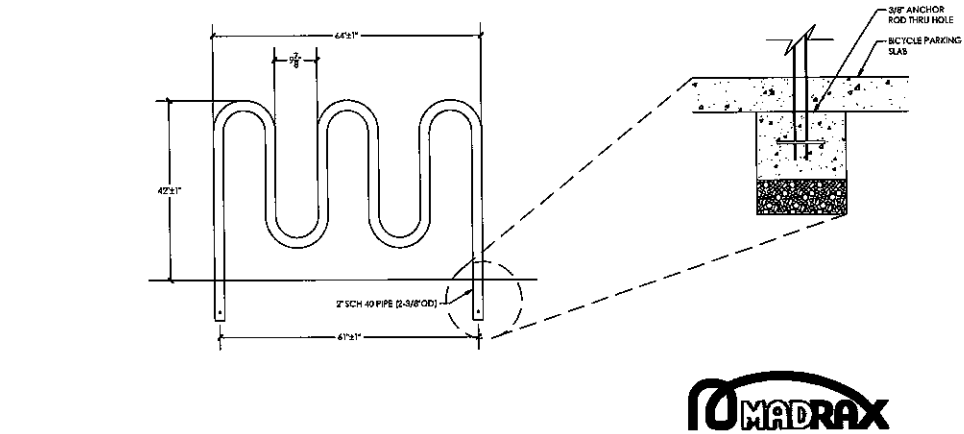
4 SHRUB/GROUND COVER PLANTING & SPACING
1" = 1'-0"
32 9333-08



5 LARGE TREE STAKING DETAIL
3/8" = 1'-0"
32 9343-22



6 TREE ROOT BARRIER - ADJACENT HARDSCAPE
3/4" = 1'-0"
32 9413.23-02



7 MADRAX HEAVY DUTY WINDER - 7 CAPACITY
3/4" = 1'-0"
12913-04

PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	
+	CR	4	Pink Apple	<i>Clusia rosea</i> 'Fish Apple'	8 & 8	14' OAH, 2" CAL	Yes	
+	PM	1	Date Palm	<i>Phoenix dactyloides</i> 'Medjool'	8 & 8	15' C.L., MATCHED		
+	QV	4	Cathedral Live Oak	<i>Quercus virginiana</i> 'Cathedral'	8 & 8	14' HI 5' W, 3" CAL MIN.		
+	RE	6	Redtail Royal Palm	<i>Roystonea elata</i>	8 & 8	6' OW		
+	SP	11	Cabbage Palmetto Twisted Trunks	<i>Sabal palmetto</i>	8 & 8	10', 14', 18' C.L., STAG. HT.		
+	SE	8	Glossy Shower	<i>Senecio surattensis</i>	8 & 8	12' HI, 6' SPRD, 3" CAL		
+	TH	4	Pink Tabebuia	<i>Tabebuia heterophylla</i>	8 & 8	12' HI, 6' SPRD, 2" DBH		
+	VM	5	Montgomery Palm	<i>Vallisneria montgomeryana</i>	8 & 8	18' OAH, Triple Trunk		
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	SPACING
+	CH	86	Red Tip Coccothrum	<i>Chrysobalanus icaco</i> 'Red Tip'	3 gal	18" HI, 18" SPRD		36" c.c.
+	CRA	26	'Queen Emma' Citrus	<i>Citrus augustum</i> 'Queen Emma'	7 gal	36" HI		48" c.c.
SHRUB AREAS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	SPACING
+	AES	124	Orange Bromeliad	<i>Aechmea blanchelliana</i>	3 gal	10" HI, 10" SPRD		24" c.c.
+	BUF	505	Staked Bubbline	<i>Bubline frutescens</i> 'Halmak'	1 gal	MIN 12" FULL		18" c.c.
+	HAP	172	Five Bush	<i>Hamelia patens</i>	3 gal	18" HI, 18" SPRD		36" c.c.
+	VOB	116	Walker's Viburnum	<i>Viburnum cavaletti</i> 'Miss Shiloh Delight'	3 gal	14" HI, 14" SPRD		36" c.c.
+	ZF	88	Coarctate Palm	<i>Zamia floridana</i>	3 gal	14" HI, 14" SPRD		36" c.c.
GROUND COVERS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	
+	SOD	3,014 sf	St. Augustine Grass	<i>Stenotaphrum secundatum</i>	Sod	FULL		

HARVARD • JOLLY ARCHITECTURE

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**AMOP Member Services Bldg
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 2 Dixie Highway, Dania Beach, FL 33004**

Construction Documents - Site Plan Approval Package - Re-Submittal February 5, 2015

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Date:	02/05/2015
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Reviewed:	REVIEW COMMENTS 02/05/15 DRC Comments 03/09/15

ERIC D. HARRISON, P.L.A.
 LANDSCAPE ARCHITECT
 FL REG. NO. 666129
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LANDSCAPE DETAILS

LANDSCAPE SPECIFICATIONS

1. GENERAL

- 1.1. WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:
 - 1.1.1. THESE GENERAL NOTES, CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.
 - 1.1.2. ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES AND REGULATIONS.
 - 1.2. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, SUPERVISION, AND EQUIPMENT REQUIRED FOR THE WORK AS SHOWN ON THE CONSTRUCTION DOCUMENTS DESCRIBED HEREIN.
 - 1.3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUB-CONTRACTORS AS REQUIRED TO COMPLETE THE WORK OF THIS PROJECT.
 - 1.4. CONTRACTOR SHALL VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER CONTRACTS. IF ANY PART OF THE PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT OWNER'S REPRESENTATIVE FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.
 - 1.5. CONTRACTOR TO NOTIFY "SUNSHINE STATE ONE CALL OF FLORIDA, INC." AT 1-800-432-4770 TWO FULL BUSINESS DAYS PRIOR TO DIGGING FOR UNDERGROUND UTILITY LOCATIONS.
 - 1.6. CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL UTILITY LOCATIONS AND INSTALLING FACILITIES SO AS TO NOT CONFLICT. THE LOCATION OF EXISTING UTILITIES OR SITE FEATURES AS SHOWN ON THE PLANS MAY VARY IN RELATION TO ACTUAL EXISTING CONDITIONS. ANY DEFERRING SITE CONDITIONS FROM THAT WHICH IS REPRESENTED HEREON, WHETHER ABOVE, ON OR BELOW THE SURFACE OF THE GROUND, SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT AND THE OWNER IN WRITING. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO DEFERRING SITE CONDITIONS WILL BE ALLOWED IF THE CONTRACTOR FAILS TO PROVIDE THE REQUIRED WRITTEN NOTIFICATION OF SUCH CONDITIONS FOR REVIEW BY THE LANDSCAPE ARCHITECT AND THE OWNER.
 - 1.7. CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES OF PROPOSED START OF WORK IN ACCORDANCE WITH THEIR STANDARD REQUIREMENTS, INCLUDING BUT NOT LIMITED TO, WATER, SANITARY SEWER, POWER, NATURAL GAS, TELEPHONE AND CABLE TV COMPANIES.
 - 1.8. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES.
 - 1.9. PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND BY HAND, IF NECESSARY. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OF DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AND AT NO EXPENSE TO THE OWNER.
 - 1.10. THE SUCCESSFUL BIDDER SHALL FURNISH TO THE OWNER A UNIT PRICE BREAKDOWN FOR ALL MATERIALS. THE OWNER MAY, AT HIS DISCRETION, ADD OR DELETE FROM THE MATERIALS UTILIZING THE UNIT PRICE BREAKDOWN SUBMITTED.
 - 1.11. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE IN HAND AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL ABIDE BY ALL PERMIT CONDITIONS.
- 2. PRE-CONSTRUCTION RESPONSIBILITY**
- 2.1. UPON RECEIPT OF NOTICE OF AWARD, THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, ALL AFFECTED UTILITY OWNERS, THE OWNER, THE LANDSCAPE ARCHITECT, ANY OTHER PERTINENT PARTIES AND HIMSELF.
 - 2.2. CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES ON-SITE. LOCATION TO BE DETERMINED BY THE OWNER. JANITORIAL SERVICES SHALL BE PROVIDED BY CONTRACTOR THROUGHOUT THE DURATION OF PROJECT.
 - 2.3. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, ELEVATION, AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION.
 - 2.4. IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT.
 - 2.5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS FOR THE FIELD LOCATIONS AND FOR ANY TREES PROPOSED FOR RELOCATION. THIS SHALL BE DONE IN A TIMELY MANNER TO MINIMIZE IMPACT ON CONSTRUCTION SCHEDULE. ANY DELAY CAUSED BY THE CONTRACTOR BY THE RELOCATION OF TREES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
 - 2.6. CONTRACTOR SHALL VERIFY LIMITS OF CONSTRUCTION AS NOTED ON THE PLANS. ANY WORK PERFORMED OUTSIDE OF THE AGREED UPON LIMITS OF CONSTRUCTION SHALL BE DONE AT THE EXPENSE OF THE CONTRACTOR.
- 3. SITE DEMOLITION**
- 3.1. ITEMS SHALL REMAIN UNLESS OTHERWISE NOTED ON THE PLANS]. REMOVE DESIGNATED ITEMS SHOWN ON THE PLAN TO THE FULL DEPTH OF THEIR CONSTRUCTION UNLESS OTHERWISE NOTED.
 - 3.2. ALL HARDSCAPE DESIGNATED FOR REMOVAL SHALL BE SAW CUT, LEAVING UNIFORM EDGES TO THE GREATEST EXTENT POSSIBLE. MATERIAL EDGES TO REMAIN SHALL BE SHORED UP AND PROTECTED DURING CONSTRUCTION TO PRESERVE EDGE INTACT. REPAIRS TO DAMAGED EDGES SHALL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - 3.3. NO EXISTING MATERIAL SHALL BE USED IN NEW CONSTRUCTION UNLESS NOTED ON THE PLANS OR APPROVED DURING THE SHOP DRAWING APPROVAL PROCESS.
 - 3.4. SALVAGE EXISTING MATERIALS AS INDICATED ON THE PLANS. SALVAGED MATERIALS SHALL BE HANDLED WITH CARE AND STORED ON-SITE OR AS DIRECTED BY OWNER. CLEAN ALL DEBRIS AND CONSTRUCTION MATERIAL FROM SALVAGED ITEMS. REUSE AS DIRECTED BY OWNER'S REPRESENTATIVE.
 - 3.5. REMOVE DEMOLISHED MATERIALS FROM SITE AND DISPOSE OF AS REQUIRED BY LOCAL, STATE OR FEDERAL LAWS.
 - 3.6. CONTRACTOR SHALL PROTECT ADJACENT WATER BODIES, COASTAL DUNE SYSTEMS AND PROPERTIES FROM DAMAGE BY SEDIMENTATION OR OTHER POTENTIAL CONSTRUCTION RELATED CAUSES.
 - 3.7. ALL IRRIGATION IN DEMOLITION AREA TO BE CAPPED AND ADJUSTED AS NECESSARY TO ENSURE OVERALL SYSTEM IS NOT AFFECTED.
- 4. TREE PRESERVATION**
- 4.1. ALL TREES TO BE PRESERVED AS INDICATED ON THE TREE DISPOSITION PLAN SHALL BE PROTECTED BY A TREE PROTECTION BARRICADE, UNLESS OTHERWISE NOTED ON PLAN.
 - 4.2. TREE PROTECTION BARRICADES SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AROUND THE DRIP LINE OF EXISTING TREES TO BE PRESERVED IN PLACE, AS SHOWN ON PLAN. PRESERVATION BARRICADES SHALL BE LEFT IN PLACE THROUGHOUT DURING ALL PHASES OF CONSTRUCTION.
 - 4.3. PRIOR TO ANY CONSTRUCTION A TREE PROTECTION BARRICADE INSPECTION SHALL BE CONDUCTED

- BY THE LANDSCAPE ARCHITECT, OWNER OR GOVERNING MUNICIPALITY, REFER TO PLANS FOR TREE PRESERVATION BARRICADE FENCING DETAIL.
 - 4.4. IF EXCAVATION IN THE VICINITY OF A PROTECTED TREE IS REQUIRED, CONTRACTOR SHALL ROOT PRUNE TREES, UNDER THE SUPERVISION OF A CERTIFIED ARBORIST IN ACCORDANCE TO THE FOLLOWING CONDITIONS:
 - 4.4.1. ROOT PRUNE TREES A MINIMUM OF EIGHT (8) WEEKS PRIOR TO CONSTRUCTION. PRIOR TO ROOT PRUNING, THOROUGHLY WATER THE ROOT ZONE WITH AT LEAST 2 TO 3 INCHES OF WATER FOR 2 TO 3 DAYS PRIOR TO ROOT PRUNING. SEE BELOW FOR RELOCATION TIMELINE.
 - 1. PROVIDE TEMPORARY IRRIGATION FOR EACH TREE THROUGHOUT THE DURATION OF CONSTRUCTION.
 - 2. ROOT PRUNE TREES, SHOWN ON PLAN IN AREAS WHERE ROOTS WILL CONFLICT WITH CONSTRUCTION ACTIVITY. PRUNING OF ROOTS SHOULD BE DONE IN A MANNER TO PRESERVE THE GREATEST AMOUNT OF THE ROOT BASE AS POSSIBLE.
 - 3. BACKFILL TRENCH WITH PLANTING SOIL.
 - 4. FERTILIZE WITHIN THE ROOT ZONE (SEE BELOW).
 - 4.4.2. ROOT PRUNING SHALL BE ACCOMPLISHED BY DIGGING A TRENCH AROUND THE TREE IN AREAS WHERE PROPOSED SEE WORK WILL BE PERFORMED. TRENCHING SHALL BE AT A MINIMUM OF 24" DEEP. ROOT PRUNE ONLY WITH A MECHANICAL ROOT-PRUNING SAW OR A TRENCHER WITH A MAXIMUM TRENCH WIDTH OF 8".
 - 4.4.3. ALL EXPOSED ROOTS SHALL BE CUT OFF SMOOTHLY, WITH SHARP INSTRUMENTS, BACKFILL TRENCHES WITH SOIL CONSISTING OF 30% SILICA SAND AND 70% MULCH. WATER THOROUGHLY AFTER ROOT PRUNING, AND ONCE WEEKLY DURING THE ROOT REGENERATION PERIOD, WITH A SOLUBLE FERTILIZER THAT HAS A 20-20-20 ANALYSIS AT MANUFACTURER'S RECOMMENDED RATE.
 - 4.5. THE CONTRACTOR SHALL FIELD STAKE THE LIMIT OF ROOT PRUNING. LIMITS OF ROOT PRUNING SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY EXCAVATION. DO NOT ROOT PRUNE FOR IRRIGATION OR ELECTRICAL LINES WITHIN DRIP LINES OF EXISTING TREES. COORDINATE ALL TRENCHING REQUIRED FOR UTILITY WORK WITH THE LANDSCAPE PLANS.
 - 4.6. ROOT PRUNING SHALL OCCUR IN ACCORDANCE WITH TREE RELOCATION NOTES AS NOTED ON PLANS.
- 5. PLANTING SOIL**
- 5.1. ALL TREES SHALL BE PLANTED WITH A MINIMUM OF 12" TOPSOIL AROUND AND BENEATH THE ROOTBALL.
 - 5.2. ALL TREES SHALL BE PLANTED WITH A MINIMUM OF 6" TOPSOIL AROUND AND BENEATH THE ROOTBALL.
 - 5.3. MINIMUM TOPSOIL SHALL BE 2" FOR SODDED GRASS AREAS.
 - 5.4. PLANTING SOIL MIX SHALL BE A WEED FREE MIX AS FOLLOWS:
 - 5.4.1. DICOT TREES & SHRUBS: 50% SAND, 40% MULCH & 10% PEAT
 - 5.4.2. MONOCOT PALMS: 70% SAND & 30% MULCH
 - 5.4.3. TURF: 80% SAND, 10% PEAT & 10% MULCH
- 6. LANDSCAPE PLANTING**
- 6.1. THE PLAN HAS BEEN DESIGNED TO MEET OR EXCEED ALL APPLICABLE CODES.
 - 6.2. THE PLANTING PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE DEED RESTRICTIONS.
 - 6.3. PLANT MATERIAL: ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER AS ESTABLISHED BY "GRADES AND STANDARDS FOR NURSERY PLANTS" OF THE STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE.
 - 6.4. ALL PLANT MATERIAL SHALL BE TRUE TO THE BOTANICAL NAME, GENUS, SPECIES AND/OR HYBRID DESIGNATION.
 - 6.5. ALL TREES, SHRUBS AND GROUNDCOVERS SHALL BE OF THE SIZE (HEIGHT & SPREAD) AS SPECIFIED IN THE PLANT LIST. CONTAINER SIZE IS FOR REFERENCE PURPOSES ONLY. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE MINIMUM SIZES AT INSTALLATION, AS SPECIFIED IN THE PLANT LIST.
 - 6.6. QUANTITIES LISTED ON THE PLANT LIST ARE FOR ESTIMATING PURPOSES. CONTRACTOR SHALL VERIFY ALL QUANTITIES. MULCH, TOPSOIL, FERTILIZER, ETC. SHALL BE INCLUDED IN THE UNIT COST OF THE PLANTS.
 - 6.7. WHERE THERE IS A DISCREPANCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PRECEDENCE.
 - 6.8. ALL SUBSTITUTIONS AND CHANGES SHALL BE APPROVED IN WRITING PRIOR TO INSTALLATION. ANY DISCREPANCIES BETWEEN PLANS, SITE AND SPECIFICATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT, THE OWNER AND/OR GOVERNING MUNICIPALITY.
 - 6.9. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING FINAL GRADING OF ALL ASSOCIATED PLANTING AREAS.
 - 6.10. AFTER FINAL GRADE, LANDSCAPE AREAS ARE TO BE RAKED TO A DEPTH OF 4". ALL ROCK AND FOREIGN INORGANIC MATERIALS SHALL BE REMOVED AND DISPOSED OF PROPERLY OFF-SITE.
 - 6.11. ALL PLANTING HOLES TO BE HAND DUG EXCEPT WHERE MACHINE DUG HOLES WILL NOT ADVERSELY AFFECT EXISTING TREES, DAMAGE UTILITIES OR OTHER IMPROVEMENTS.
 - 6.12. ALL PLANTING BEDS IN OPEN AREAS AND AROUND BUILDING FOUNDATIONS SHALL BE EXCAVATED TO A DEPTH OF TWENTY-FOUR INCHES (24") AND BACK FILLED WITH SOIL MIX AS SPECIFIED IN SECTION 5.00. PLANTING BED SHALL BE FREE FROM ROCK, CONSTRUCTION DEBRIS OR OTHER EXTRANEOUS MATERIAL.
 - 6.13. ALL PLANTING BEDS IN MEDIANS, HARDSCAPE AREAS OR AREAS ENCOMPASSED BY IMPERVIOUS MATERIAL SHALL BE EXCAVATED TO A DEPTH OF THIRTY-SIX INCHES (36") UNLESS NATIVE SOILS ENCOUNTERED TO ENSURE DRAINAGE. BACK FILL WITH SOIL MIX AS SPECIFIED IN SECTION 5.00. PLANTING BED SHALL BE FREE FROM ROCK, CONSTRUCTION DEBRIS OR OTHER EXTRANEOUS MATERIAL.
 - 6.14. EXCAVATE PLANTING PITS TO A DEPTH SO THAT THE TRUNK FLARE AND FIRST ORDER (LATERAL ROOTS) WILL BE PLANTED AT FINISH GRADE OR SLIGHTLY HIGHER. ADVENTITIOUS ROOTS ARE NOT CONSIDERED FIRST ORDER ROOTS.
 - 6.15. BURLAP, SYNTHETIC STRIPS, CORDS AND/OR LIFTING ROPES SHALL BE REMOVED FROM THE ROOTBALLS BEFORE ANY TREES ARE PLANTED. THE TOP 1/3RD OF BURLAP MUST BE REMOVED FROM THE TOP OF THE ROOTBALLS. THE TOP 1/2RD OF WIRE BASKETS SHALL BE COMPLETELY REMOVED AND THE BOTTOM 2/3RDS SHALL BE CUT BEFORE THE TREES ARE INSTALLED.
 - 6.16. NO PLUNGING OF ANY TREE OR PALM WILL BE ACCEPTED.
 - 6.17. NO PLANT MATERIAL WILL BE ACCEPTED SHOWING EVIDENCE OF CABLE, CHAIN MARKS, EQUIPMENT SCARS, OR OTHERWISE DAMAGED.
 - 6.18. PLANT MATERIAL WILL NOT BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN CRACKED, BROKEN OR OTHERWISE DAMAGED.

- 6.19. ALL TREES SPECIFIED AS FIELD GROWN OR B&B TREES SHALL BE ROOT-PRUNED AT THE NURSERY A MINIMUM OF (8) WEEKS PRIOR TO PLANTING.
 - 6.20. ALL PLANT MATERIAL PLANTED WITHIN THE SIGHT DISTANCE TRIANGLE AREAS SHALL BE MAINTAINED TO PROVIDE UNOBSTRUCTED CROSS-VISIBILITY AT A HORIZONTAL LEVEL BETWEEN 30 INCHES AND 6 FEET ABOVE ADJACENT STREET GRADE.
 - 6.21. NO CANOPY TREES SHALL BE PLANTED WITHIN 12 FEET OF A LIGHT POLE. NO PALM SPECIES SHALL BE PLANTED WITHIN 6 FEET OF A LIGHT POLE.
 - 6.22. GROUND COVER PLANTINGS SHALL PROVIDE NOT LESS THAN 50 PERCENT COVERAGE IMMEDIATELY UPON PLANTING AND 100 PERCENT COVERAGE WITHIN 6 MONTHS AFTER PLANTING.
 - 6.23. TREES AND PALMS SHALL BE MAINTAINED TO ALLOW FOR CLEAR PASSAGE # IN ALL PEDESTRIAN AREAS.
 - 6.24. ALL LANDSCAPE MATERIAL SHALL BE SETBACK A MINIMUM OF 10' FROM ANY FIRE HYDRANT.
 - 6.25. CONTRACTOR SHALL REMOVE ALL NURSERY STAKES, CONDUIT, FLAGGING AND NURSERY TAPE PRIOR TO STAKING.
 - 6.26. CONTRACTOR SHALL STAKE & GUY ALL TREES AND PALMS AT TIME OF PLANTING AS PER THE APPROPRIATE DETAIL. CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND/OR REPAIR OF ALL STAKING AND GUYING DURING WARRANTY PERIOD AND REMOVAL & DISPOSAL OF STAKING AFTER ESTABLISHMENT/WARRANTY PERIOD.
 - 6.27. TREES THAT CANNOT STAND WITHOUT THE SUPPORT OF STAKES AND/OR GUYS SHALL BE REJECTED.
- 7. TURF GRASSES**
- 7.1. ALL AREAS NOT USED FOR BUILDINGS, VEHICULAR USE AREAS, WALKS OR PLANTING BEDS SHALL BE GRASSED. GRASSING SHALL EXTEND TO ANY ADJUTING STREET PAVEMENT EDGE AND TO THE MEAN WATERLINE OF ANY ADJUTING CANAL, LAKE OR WATERWAY. REFER TO PLANTING SCHEDULE FOR ESTIMATED QUANTITY AND SPECIES.
- 8. MULCH**
- 8.1. ALL PLANTING BEDS AND WATER BASINS FOR TREES SHALL BE COVERED WITH A 3" MINIMUM DEPTH OF SHREDED FLOE-MULCH, MELALEUCA OR EUCALYPTUS MULCH GRADE "B" OR BETTER, UNLESS OTHERWISE SPECIFIED.
 - 8.2. INDIVIDUAL TREES PLANTED IN LAWN AREAS SHALL BE MULCHED WITH A MINIMUM 24" DIAMETER MULCH RING.
 - 8.3. MULCH SHALL NOT BE INSTALLED WITHIN 4" OF TREE TRUNKS.
- 9. WATERING**
- 9.1. ALL LANDSCAPED AREAS WILL BE IRRIGATED BY AN UNDERGROUND, AUTOMATIC, RUST-FREE IRRIGATION SYSTEM PROVIDING 100% COVERAGE AND 50% SPRAY OVERLAP. THE SYSTEM SHALL BE MAINTAINED IN GOOD WORKING ORDER AND DESIGNED TO MINIMIZE WATER ON IMPERVIOUS SERVICES AND NOT OVERSPRAY WALKWAYS. A RAIN SENSOR DEVICE SHALL BE INSTALLED TO OVERRIDE THE IRRIGATION CYCLE OF THE SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED.
 - 9.2. ALL PLANT MATERIAL SHALL BE WATERED IN AT TIME OF PLANTING IN ACCORDANCE WITH STANDARD NURSERY PRACTICES. IN ADDITION, CONTRACTOR WILL CONTINUE THE WATERING OF PLANT MATERIAL UNTIL SUBSTANTIAL COMPLETION AND THE LANDSCAPE IS TURNED OVER TO THE OWNER.
- 10. PROJECT CLOSURE**
- 10.1. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER. UPON FINAL CLEAN UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEP BROOM CLEAN.
 - 10.2. THE CONTRACTOR SHALL RESTORE, REPLACE OR AS DIRECTED BY THE LANDSCAPE ARCHITECT, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY THE WORK OF THE CONTRACTOR, HIS EQUIPMENT, EMPLOYEES OR THOSE OF HIS SUB-CONTRACTORS. THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT OF THE EXISTING ADJACENT AREAS. THE RESTORATION WORK SHALL BE AT THE CONTRACTOR'S EXPENSE. SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATION.
 - 10.3. WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING PROGRESS OF THE WORK. THESE AREAS SHALL BE KEPT IN A CLEAN AND NEAT CONDITION.
 - 10.4. THE CONTRACTOR SHALL MAINTAIN ACCURATE AND COMPLETE RECORDS OF WORK ITEMS COMPLETED.
 - 10.5. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE LANDSCAPE ARCHITECT OF RECORD COMPLETE SETS OF "AS-BUILT" CONSTRUCTION DRAWINGS. THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONED LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS INCLUDING PRODUCT/EQUIPMENT AS SPECIFIED OR REVISED DURING THE SHOP DRAWING SUBMITTAL PROCESS. AS-BUILT DRAWINGS SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR.
- 11. GUARANTEE**
- 11.1. ALL NEW PLANT MATERIAL SHALL BE GUARANTEED FOR 1 YEAR FROM TIME OF FINAL ACCEPTANCE OF PROJECT. ANY PLANT MATERIAL NOT IN A HEALTHY GROWING CONDITION WILL BE REPLACED IN KIND BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER WITHIN 10 DAYS OF NOTIFICATION.
 - 11.2. FOR ALL REPLACEMENT PLANT MATERIAL. THE WARRANTY PERIOD SHALL BE EXTENDED AN ADDITIONAL 90 DAYS BEYOND THE ORIGINAL WARRANTY PERIOD. REPLACEMENT MATERIAL SHALL BE REPLACED IN KIND AS IT RELATES TO SPECIES, QUANTITY AND SIZE.
 - 11.3. ALL TREES THAT LEAN OR ARE BLOWN OVER, CAUSED BY WINDS LESS THAN 74 MPH AS DETERMINED BY THE NATIONAL HURRICANE CENTER, WILL BE RE-SET AND BRACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

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**AMOP Member Services Bldg
American Maritime Officers Plans
2 Dixie Highway, Dania Beach, FL 33004**

Construction Documents - Site Plan Approval Package - Re-Submittal February 6, 2015

Drawn: CUP
Date: 02/25/2015
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LANDSCAPE ARCHITECT
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Fl. Reg. No. 9897129 - American Maritime Officers Plans - Construction Documents - Site Plan Approval Package - Re-Submittal February 6, 2015

IRRIGATION SPECIFICATIONS

1. GENERAL

- 1.1. THE SYSTEM HAS BEEN DESIGNED TO CONFORM WITH THE REQUIREMENTS OF ALL APPLICABLE CODES... 1.2. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES... 1.3. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES... 1.4. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND VERIFY PROPER CLEARANCE WITH PPL ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDERGROUND POWER LINES... 1.5. THE CONTRACTOR MUST SUBMIT FOR APPROVAL, PRIOR TO INSTALLATION, COPIES OF THE MANUFACTURER'S CUT SHEETS/SPECIFICATIONS FOR ALL COMPONENTS TO BE USED IN THE IRRIGATION SYSTEM... 1.6. THE IRRIGATION CONTRACTOR SHALL BE CERTIFIED AS A CERTIFIED IRRIGATION CONTRACTOR BY THE IRRIGATION ASSOCIATION... 2. SCOPE OF WORK 2.1. THE WORK SPECIFIED IN THIS SECTION CONSISTS OF FURNISHING ALL COMPONENTS NECESSARY FOR THE INSTALLATION, TESTING, AND DELIVERY OF A COMPLETE, FULLY FUNCTIONAL AUTOMATIC LANDSCAPE IRRIGATION SYSTEM THAT COMPLETELY COMPLIES WITH THE 100% IRRIGATION PLANS, SPECIFICATIONS, NOTES, DETAILS AND ALL APPLICABLE LAWS, REGULATIONS, CODES AND ORDINANCES... 2.2. ALL IRRIGATED AREAS SHALL PROVIDE 100% HEAD-TO-HEAD COVERAGE FROM A FULLY AUTOMATIC IRRIGATION SYSTEM WITH A RAIN SENSOR AS SHOWN... 2.3. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES 72 HOURS PRIOR TO COMMENCEMENT OF WORK... 2.4. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE THEMSELVES WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, STRUCTURES AND UTILITIES... 2.5. IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL EXISTING SITE ITEMS DAMAGED BY THEIR WORK... 2.6. THE CONTRACTOR SHALL TAKE IMMEDIATE STEPS TO REPAIR, REPLACE, OR RESTORE ALL SERVICES TO ANY UTILITIES WHICH ARE DISRUPTED DUE TO THEIR OPERATIONS... 3. SUBMITTALS 3.1. THE CONTRACTOR MUST SUBMIT FOR APPROVAL, PRIOR TO INSTALLATION, COPIES OF THE MANUFACTURER'S CUT SHEETS/SPECIFICATIONS FOR ALL COMPONENTS TO BE USED IN THE IRRIGATION SYSTEM... 3.2. AFTER PROJECT COMPLETION, AND AS A CONDITION OF FINAL ACCEPTANCE, THE IRRIGATION CONTRACTOR SHALL PROVIDE THE OWNER WITH A HIGH QUALITY, ACCURATE, AND LEGIBLE SET OF AS-BUILT DRAWINGS... 3.3. CONTROLLER CHARTS - UPON COMPLETION OF "AS-BUILTS", CONTRACTOR SHALL PREPARE CONTROLLER CHARTS AT ONE PER CONTROLLER... 3.4. CONTRACTOR SHALL FURNISH EXTRA MATERIALS THAT MATCH PRODUCTS INSTALLED AND THAT ARE PACKAGED WITH PROTECTIVE COVERING FOR STORAGE AND IDENTIFIED WITH LABELS DESCRIBING CONTENTS... 4. FINAL ACCEPTANCE 4.1. FINAL ACCEPTANCE OF THE IRRIGATION SYSTEM WILL BE GIVEN AFTER THE FOLLOWING DOCUMENTS AND CONDITIONS HAVE BEEN COMPLETED AND APPROVED... 1. FINAL WALK-THRU AND CORRECTION OF ALL PUNCH LIST ITEMS... 2. COMPLETION AND ACCEPTANCE OF "AS-BUILT" DRAWINGS... 3. ACCEPTANCE OF REQUIRED CONTROLLER CHARTS AND PLACEMENT INSIDE OF CONTROLLERS... 4. TURN-OVER OF ALL REQUIRED PARTS AND TOOLS AS OUTLINED IN THE PROJECT SPECIFICATIONS.

5. GUARANTEE

- 5.1. FULLY WARRANT THE LANDSCAPE IRRIGATION SYSTEM FOR A PERIOD OF ONE (1) YEAR AFTER THE WRITTEN FINAL ACCEPTANCE... 5.2. DURING THE WARRANTY PERIOD, ENFORCE MANUFACTURER'S AND SUPPLIER'S WARRANTIES... 5.3. REPAIR DAMAGES PROMPTLY WHICH ARE CAUSED BY SYSTEM MALFUNCTION... 6. POINT OF CONNECTION (P.O.C.) 6.1. THE P.O.C IS A PROPOSED 1-1/2" POTABLE WATER METER... 6.2. IF THE CONDITIONS CAN NOT BE MET, THE CONTRACTOR MUST NOTIFY THE DESIGNER PRIOR TO PROCEEDING WITH THE WORK... 7. PIPING 7.1. MAINLINE SHALL BE PVC CLASS 200 SDR 21, NON-GASKETED, SOLVENT WELD, WITH SCHEDULE 40 PVC FITTINGS... 7.2. LATERAL PIPE SHALL BE PVC CLASS 200 SDR 21, NON-GASKETED, SOLVENT WELD, WITH SCHEDULE 40 PVC FITTINGS... 7.3. PIPE LOCATIONS SHOWN ON THE PLAN ARE SCHEMATIC AND SHALL BE ADJUSTED IN THE FIELD... 7.4. PIPES SHALL ALWAYS BE PLACED IN PLANTING BEDS... 7.5. PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS... 7.6. CONTRACTOR TO ENSURE ALL MAINLINE PIPING IS PROPERLY RESTRAINED USING MECHANICAL JOINT FITTINGS... 7.7. PVC PIPE JOINT COMPOUND AND PRIMER: SLOW DRYING, HEAVY DUTY CEMENT AND THREE (3) PURPLE PRIMER THAT IS COMPATIBLE WITH THE CEMENT... 7.8. MAIN LINE PIPE DEPTH MEASURED TO THE TOP OF PIPE SHALL BE 18" MINIMUM AT VEHICULAR CROSSINGS... 7.9. LATERAL LINE DEPTHS MEASURED TO TOP OF PIPE SHALL BE 12" MINIMUM, 30" MINIMUM AT VEHICULAR CROSSINGS.

8. LAYOUT

- 8.1. LAY OUT IRRIGATION SYSTEM MAINLINES AND LATERAL LINES... 8.2. STAKE ALL SPRINKLER HEAD LOCATIONS... 8.3. SPRAY HEADS SHALL BE INSTALLED 4" FROM SIDEWALKS OR CURBED ROADWAYS... 8.4. SHRUB HEADS SHALL BE INSTALLED ON 3/4" SCH 40 PVC RISERS... 8.5. LOCATE VALVES PRIOR TO EXCAVATION... 9. WIRING 9.1. IRRIGATION CONTROL WIRE SHALL BE THERMOPLASTIC SOLID COPPER, SINGLE CONDUCTOR... 9.2. TAPE AND BUNDLE CONTROL WIRES EVERY 10' AND RUN ADJACENT TO THE MAINLINE...

- 9.3. NUMBER ALL WIRES USING AN ELECTRICAL BOX OF NUMBERS ACCORDING TO THE PLANS... 9.4. WIRE SIZES, NUMBERED AND COLORED AS FOLLOWS: #14 WHITE FOR COMMON, #14 SPARE BLACK COMMON, #14 RED FOR HOT WIRES, #14 SPARE YELLOW HOT WIRE... 10. CONTROLLER GROUNDING 10.1. CONTRACTOR TO INSTALL 4"X8"X8" COPPER GROUNDING FLATS... 11. VALVES 11.1. SEQUENCE ALL VALVES SO THAT THE FARTHEST VALVE FROM THE P.O.C... 11.2. ADJUST THE FLOW CONTROL ON EACH RCV TO ENSURE SHUT OFF IN 10 SECONDS... 11.3. USING 3" HIGH NUMBER STENCILS, PAINT THE VALVE NUMBER IN WHITE... 12. EQUIPMENT 12.1. BUBBLERS SHALL BE INSTALLED USING SCH 40 NIPPLES... 12.2. ALL POP-UP HEADS AND SHRUB RISERS SHALL BE PRESSURE COMPENSATING... 12.3. ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS... 13. TRENCHING 13.1. EXCAVATE STRAIGHT AND VERTICAL TRENCHES WITH SMOOTH, FLAT OR SLOPING BOTTOMS... 13.2. PROTECT EXISTING LANDSCAPED AREAS... 14. INSTALLATION 14.1. CUT ALL PIPE SQUARE AND DEBURR... 14.2. PIPES MUST CURE A MINIMUM OF 30 MINUTES PRIOR TO HANDLING... 15. BACKFILLING 15.1. THE BACKFILL 6" BELOW AND 6" ABOVE ALL PIPING SHALL BE CLEAN SAND... 15.2. CONTRACTOR SHALL BACKFILL ALL PIPING... 16. TESTING & FLUSHING 16.1. MAINLINE PRESSURE TEST: REMOVE ALL REMOTE CONTROL VALVES... 16.2. LATERAL LINES MUST BE FILLED AND VISUALLY CHECKED FOR LEAKS... 16.3. PRIOR TO THE PLACEMENT OF HEADS, FLUSH ALL LINES... 16.4. USE SCREENS IN HEADS AND ADJUST HEADS FOR PROPER COVERAGE... 16.5. UPON COMPLETION OF BACKFILLING, FINISH GRADING AND CONTOURING...

RECOMMENDED MAINTENANCE PROCEDURES

- 1. EVERY IRRIGATION ZONE SHOULD BE CHECKED MONTHLY AND WRITTEN REPORTS GENERATED DESCRIBING THE DATE(S) EACH ZONE WAS INSPECTED... 1.1. TURN ON EACH ZONE FROM THE CONTROLLER TO VERIFY AUTOMATIC OPERATION... 1.2. CHECK SCHEDULES TO ENSURE THEY ARE APPROPRIATE FOR THE SEASON... 1.3. CHECK REMOTE CONTROL VALVE TO ENSURE PROPER OPERATION... 1.4. CHECK SETTING ON PRESSURE REGULATOR TO VERIFY PROPER SETTING... 1.5. CHECK FLOW CONTROL AND ADJUST AS NEEDED... 1.6. CHECK FOR LEAKS IN MAINLINE, LATERAL LINES, VALVES, HEADS, ETC... 1.7. CHECK ALL HEADS AS FOLLOWS: 1.7.1. PROPER SET HEIGHT (TOP OF SPRINKLER IS 1" BELOW MOW HEIGHT)... 1.7.2. VERIFY HEAD POP-UP HEIGHT - 6" IN TURF, 1.2" IN GROUND COVER... 1.7.3. CHECK WIPER SEAL FOR LEAKS... 1.7.4. ALL NOZZLES CHECKED FOR PROPER PATTERN... 1.7.5. CHECK FOR PROPER VERTICAL ALIGNMENT... 1.7.6. RAISE OR LOWER BASE HEIGHT TO ACCOMMODATE PLANT GROWTH PATTERNS... 1.7.7. VERIFY THAT POP-UP RISER RETRACTS AFTER OPERATION... 2. CHECK RAIN SHUT-OFF DEVICE MONTHLY TO INSURE IT FUNCTIONS PROPERLY... 3. CHECK ALL FILTERS MONTHLY AND CLEAN/REPAIR/REPLACE AS NEEDED... 4. INSPECT BACKFLOW DEVICES BY UTILIZING A PROPERLY LICENSED BACKFLOW INSPECTOR... 5. INSPECT ALL VALVE BOXES TO ENSURE THEY ARE IN GOOD CONDITION... 6. CHECK PUMP STATIONS FOR PROPER OPERATION... 7. CHECK AND CLEAN INTAKE SCREENS ON ALL SUCTION LINES QUARTERLY... 8. WINTERIZE, IF APPLICABLE... 9. CONDUCT ADDITIONAL INSPECTIONS, MAINTENANCE TASKS, ETC. THAT ARE SPECIFIC FOR YOUR SITE.

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Comm. No: 13083.00 Date: 02/05/2015

ERIC D. HARRISON, P.E. LANDSCAPE ARCHITECT

L3.03

IRRIGATION SPECIFICATIONS

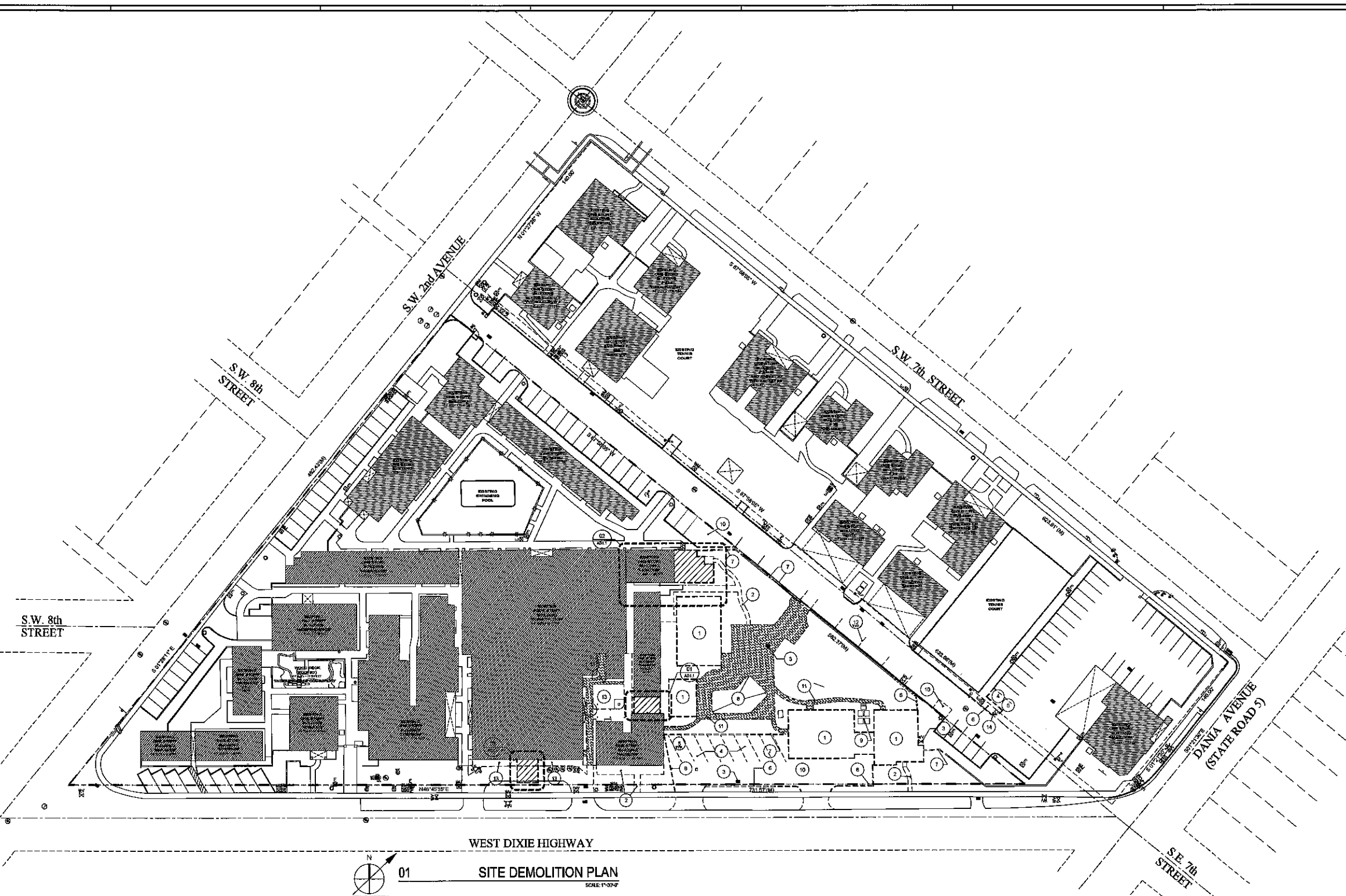
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 2 Dixie Highway, Dania Beach, FL 33004
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Client No: 13083.00
 Date: 1/12/14
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 Revised: [Blank]

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WEST DIXIE HIGHWAY
 01 SITE DEMOLITION PLAN
 SCALE: 1/8"=1'-0"

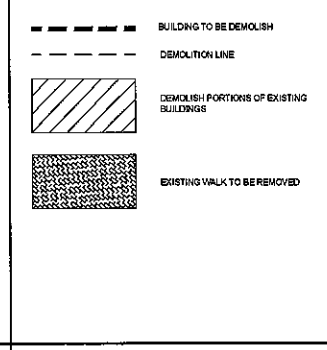
GENERAL NOTES

- DEMOLITION CONSISTS OF THE COMPLETE DISASSEMBLING, REMOVAL AND DISPOSAL OFF-SITE OF PORTIONS OF THE EXISTING BUILDING AS INDICATED.
- PRIOR TO BIDDING THE CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE FACILITY AND THOROUGHLY FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS. NO CLAIMS FOR ADDITIONAL WORK DUE TO UNFORESEEN CONDITIONS WILL BE CONSIDERED.
- CONTRACTORS ARE RESPONSIBLE FOR FIELD VERIFYING THE EXTENT OF DEMOLITION WORK PRIOR TO BIDDING, AND FOR COORDINATING DEMOLITION WITH THE INSTALLATION OF NEW SYSTEMS AND FINISHES SCHEDULED DEMOLITION WORK WITHIN THE SITE TO MINIMIZE DISRUPTION OF SERVICES.
- REMOVE EACH ITEM SHOWN WITH DASHED LINES ON THIS DRAWING WHETHER OR NOT EACH ITEM IS SPECIFICALLY NOTED TO BE REMOVED OR COMPLETELY REMOVED. CONTRACTOR SHALL PROVIDE ALL DEMOLITION INCIDENTAL TO OR REQUIRED FOR NEW AND RENOVATED CONSTRUCTION WHETHER OR NOT SPECIFICALLY NOTED, INCLUDING BUT NOT LIMITED TO, REMOVAL OF EXISTING PAVEMENT, SIDEWALKS, FENCING, GATES, POSTS, PLANTING MATERIALS.
- USE OF THE SITE FOR ANY CONSTRUCTION STAGING OR OTHER OPERATIONS SHALL BE COORDINATED WITH THE OWNER. TAKE CARE NOT TO BLOCK OR OTHERWISE AFFECT ANY PUBLIC OR ADJACENT OWNER AREAS, OR OTHER AREAS NOT WITHIN THE CONSTRUCTION LIMITS FOR THIS PROJECT.
- SAVING: THE OWNER SHALL DETERMINE WHICH ITEMS ARE TO BE REMOVED BY THE CONTRACTOR AND TURNED OVER TO THE OWNER. THE CONTRACTOR SHALL INQUIRE AT BID TIME WHICH ITEMS SHOULD BE INCLUDED. OTHER ITEMS TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF-SITE.
- THE OWNER HAS FIRST RIGHT OF REFUSAL ON ANY SALVAGE DISPOSAL. STORAGE OF REMOVED MATERIALS ON THE SITE WILL NOT BE PERMITTED. REMOVE AND LEGALLY DISPOSE OF OFF-SITE ALL ITEMS, DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS AT CONTRACTOR EXPENSE. GENERAL CONTRACTOR SHALL PROVIDE A DUMPSTER FOR DEMOLISHED ITEMS. EXISTING PROPERTY DUMPSTERS SHALL NOT BE USED.
- STORAGE OR SALE OF REMOVED ITEMS AND MATERIALS WILL NOT BE PERMITTED ON THE OWNER'S PROPERTY.
- HAZARDOUS MATERIALS - IF HAZARDOUS MATERIAL (LEAD PAINT, ETC.) OR MATERIALS SUSPECTED OF CONTAINING ARSENIC OR ARE ENCLOSED DURING THE DEMOLITION WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY. ASBESTOS CONTAINING MATERIAL SHALL BE REMOVED AND DISPOSED OF BY THE OWNER.
- CONSTRUCTION LIMITS - SOME ITEMS OF DEMOLITION MAY REQUIRE ACCESS IN AREAS OUTSIDE OF THE CONSTRUCTION LIMITS. PROPER COORDINATION AND NOTIFICATION OF THE OWNER SHALL BE REQUIRED PRIOR TO PERFORMING SUCH WORK.
- PROTECTION - PROVIDE, ERECT AND MAINTAIN TEMPORARY PARTITIONS, BARRICADES, LIGHTING, AND GUARDRAILS AS REQUIRED TO PROTECT THE PUBLIC AND WORKERS FROM DUST, FUMES, SMOKE, AND OTHER HAZARDS. DEMOLITION WORK SHOULD CAUSE AS LITTLE INCONVENIENCE TO ADJACENT OCCUPIED AREAS AS POSSIBLE.
- REPAIR TO EXISTING CONSTRUCTION, SCHEDULED TO REMAIN, DUE TO DAMAGE SHALL BE DONE AT NO COST TO THE OWNER.
- EXCESSIVE NOISE - CONTRACTOR SHALL MINIMIZE ANY PROCEDURES THAT COULD CAUSE EXCESSIVE NOISE OR VIBRATION THAT WOULD DISRUPT ACTIVITIES, INCLUDING IN ADJACENT BUILDINGS. NOTIFY OWNER 72 HOURS IN ADVANCE OF INITIATING ANY DISRUPTIVE ACTIVITIES AND COORDINATE WITH OWNER AND SCHEDULE. SEE CONSULTANT DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION.
- UTILITY SERVICES - MAINTAIN ALL EXISTING UTILITIES NOT INDICATED TO BE DEMOLISHED, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS. COORDINATE WITH THE OWNER. THE GENERAL CONTRACTOR SHALL TAKE CARE TO ENSURE THAT ALL ELECTRICAL POWER IS TURNED OFF PRIOR TO REMOVAL OF ELECTRICAL COMPONENTS. ALL WIRING SHALL BE PROPERLY TERMINATED TO COMPLY WITH APPLICABLE CODES AND AVOID UNSAFE CONDITIONS.
- LOCATE, IDENTIFY, SHUT-OFF, AND DISCONNECT UTILITY SERVICES THAT ARE NOT INDICATED TO REMAIN. PROVIDE BYPASS CONNECTIONS AS NECESSARY TO MAINTAIN CONTINUITY OF SERVICE TO OCCUPIED AREAS OF THE FACILITY. PROVIDE MINIMUM 72 HOURS ADVANCE NOTICE TO OWNER IF SHUT-DOWN OF SERVICE IS NECESSARY DURING OVERLAP.
- IF UNANTICIPATED, MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS WHICH CONFLICT WITH INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND ACCESS BOTH NATURE AND EXTENT OF THE CONFLICT. SUBMIT REPORT TO THE ARCHITECT IN WRITTEN, APPROPRIATE DETAIL. PENDING RECEIPT OF DIRECTIVE FROM ARCHITECT, REARRANGE SELECTIVE DEMOLITION SCHEDULE AS NECESSARY TO CONTINUE OVERALL JOB PROGRESS WITHOUT DELAY.
- ALL EXTERIOR PEDESTRIAN PATHWAYS SHALL CONFORM TO THE FLORIDA ACCESSIBILITY CODE FOR BUILDINGS CONSTRUCTION, I.E. SLOPES, OBSTRUCTIONS, ETC.
- DURING ALL PHASES OF DEMOLITION, MAINTAIN CLEAR PROTECTED PATH OF TRAVEL FOR BOTH STAFF AND VISITORS. COORDINATE PROPOSED PATH WITH OWNER.
- ALL CONSTRUCTION AND DEMOLITION PROCEDURES SHALL COMPLY WITH NFPA 241.
- REMOVE EXISTING CONSTRUCTION UTILITIES "WET DEMOLITION METHOD".

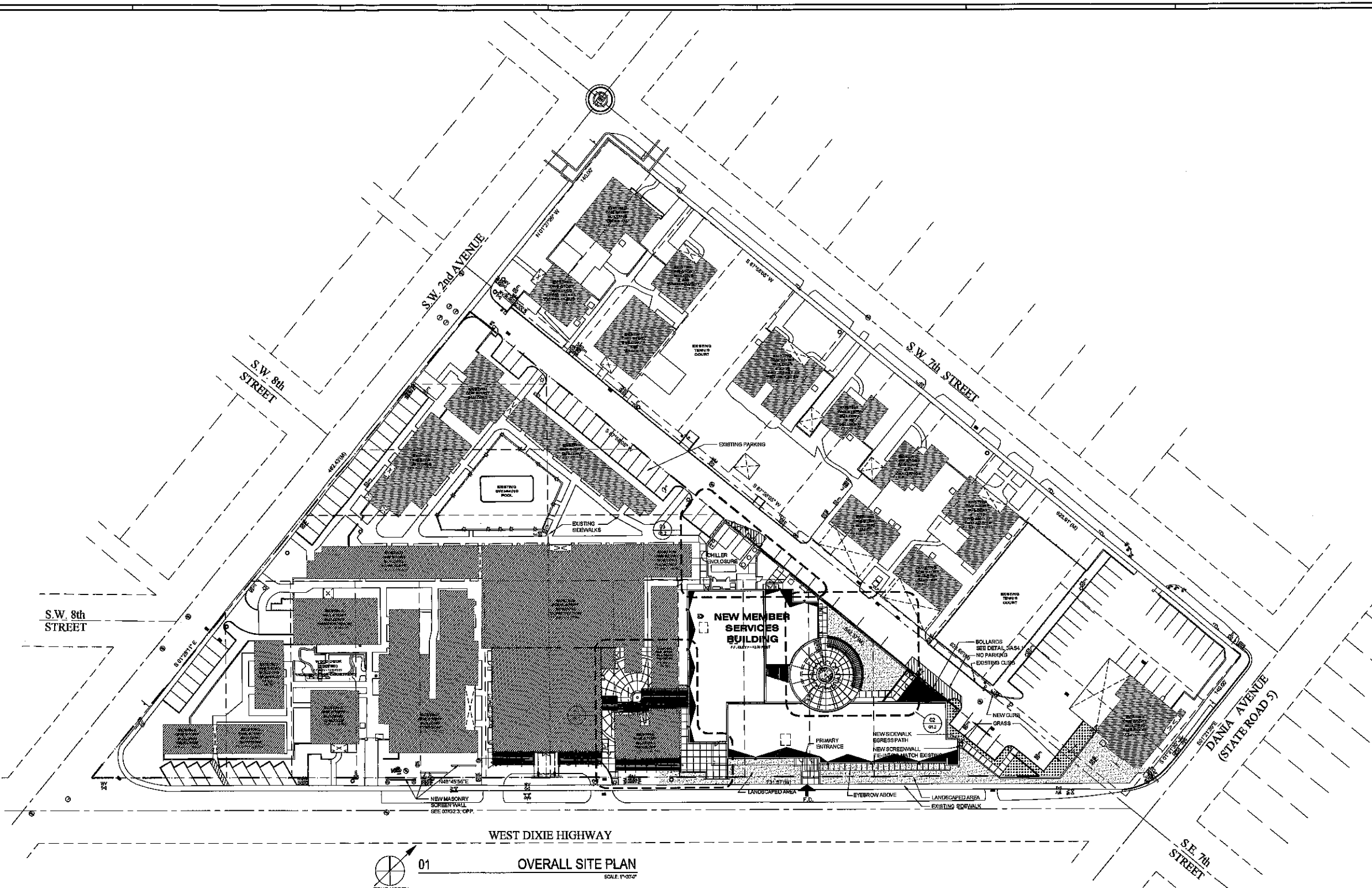
DEMOLITION KEYNOTES

- DEMOLISH EXISTING BUILDING.
- DEMOLISH EXISTING CONCRETE SIDEWALKS.
- REMOVE EXISTING UTILITY STRUCTURE. REFER TO CIVIL DRAWINGS.
- REMOVE EXISTING DRIVE AND PARKING.
- REMOVE AND SALVAGE ALL EXISTING WHEEL STOPS AT AREA OF DEMOLITION.
- REMOVE EXISTING CONCRETE CURB.
- REMOVE PORTION OF EXISTING WALL.
- REMOVE EXISTING SWIMMING POOL. FILL WITH CLEAN TREATED FILL. SEE GEOTECH REPORT FOR FILL & CONFACTION REQUIREMENTS.
- REMOVE EXISTING A/C EQUIPMENT.
- REMOVE EXISTING ASPHALT PAVEMENT.
- REMOVE EXISTING BRICK SIDEWALK.
- REMOVE PARKING STRIPES.
- REMOVE LANDSCAPE AREA AND IRRIGATION.
- REMOVE EXISTING LIGHT POLE, REFER TO CIVIL DRAWINGS.
- REMOVE EXISTING DOORS, FRAMES AND HARDWARE, TURN OVER TO OWNER OR DISPOSE AT OWNERS RISK. PATCH FLOOR AND WALLS & PREPARE TO RECEIVE NEW FINISHES AS SCHEDULED.
- SEQUENCE OF CONSTRUCTION - COMPLETELY REMOVE PORTIONS OF THE EXISTING BUILDING EQUIPMENT, COMPONENTS AND SLAB AS REQUIRED TO ACCOMMODATE NEW MASONRY WALLS, COLUMNS AND FOUNDATIONS. CONTRACTOR SHALL COORDINATE WITH OWNER PRIOR TO START CONSTRUCTION AND RECONNECT UTILITIES. REFER TO STRUCTURAL DRAWINGS.
- INFILL EXISTING AREAS AND PREPARE SURFACE TO RECEIVE NEW WORK AS SCHEDULED.
- REMOVE EXISTING CEILING AND ALL CEILING EQUIPMENT.
- REMOVE EXISTING WINDOWS.
- REMOVE PORTION OF EXISTING MASONRY WALL, PROVIDE TEMPORARY SHORING AS REQUIRED.
- REMOVE EXISTING CONCRETE SLAB.
- REMOVE PORTION OF EXISTING ROOF ASSEMBLY AND STRUCTURAL FRAMING. SEE DETAILS.
- REMOVE EXISTING FENCE SYSTEM, GATE, HARDWARE AND FOOTINGS.
- RELOCATE EXISTING IRRIGATION SYSTEM.

LEGEND



Revit: Tech AIA, REP
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01
TRUE NORTH
OVERALL SITE PLAN
SCALE: 1"=20'-0"

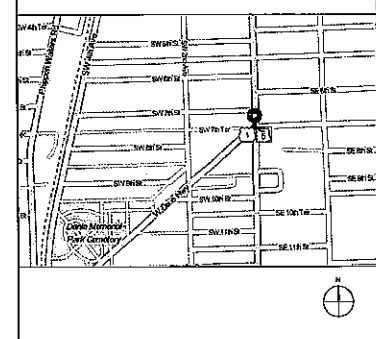
GENERAL NOTES

- PROTECTION - PROVIDE, ERECT, AND MAINTAIN TEMPORARY PARTITIONS, BARRICADES, LIGHTING, AND GUARDRAILS AS REQUIRED TO PROTECT THE PUBLIC AND WORKERS FROM EXCAVATIONS, ERECTION, AND OTHER HAZARDOUS DEMOLITION WORK SHOULD CAUSE AS LITTLE INCONVENIENCE TO ADJACENT OCCUPIED BUILDING AREAS AS POSSIBLE.
- SITE USAGE - USE OF THE SITE FOR ANY CONSTRUCTION STAGING OR OTHER OPERATIONS SHALL BE COORDINATED WITH THE OWNER. TAKE CARE NOT TO BLOCK OR ADVERSELY AFFECT ANY PUBLIC OR ADJACENT OWNERS AREAS OR OTHER AREAS NOT WITHIN THE CONSTRUCTION LIMITS FOR THE PORTION OF THE WORK.
- EXCESSIVE NOISE - CONTRACTOR SHALL MINIMIZE ANY PROCEDURES THAT WOULD CAUSE EXCESSIVE NOISE OR VIBRATION THAT WOULD DISRUPT ACTIVITIES, INCLUDING IN ADJACENT BUILDINGS, NOTIFY OWNER 48 HOURS IN ADVANCE OF INITIATING ANY NOISE-INTENSIVE ACTIVITIES AND COORDINATE WITH OWNER'S SCHEDULE.
- TWO (2) PROJECT SIGNS TO BE PROVIDED BY CONTRACTOR AND LOCATED BY THE OWNER.
- ALL EXTERIOR PEDESTRIAN PATHWAYS SHALL CONFORM TO THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION, I.E. SLOPES, OBSTACLES, ETC.
- WHERE SIDEWALKS ARE ADJACENT TO THE BUILDING, THEY ARE TO SLOPE AWAY FROM THE BUILDING AT A SLOPE OF 1:50.
- WHERE AN EXTERIOR DOOR DISCHARGES FROM THE BUILDING, THERE IS TO BE A LANDING THAT IS AT LEAST 6' LONG PERPENDICULAR TO THE BUILDING. EXTERIOR DOOR LANDINGS ARE TO BE FLUSH WITH THE BUILDING SLAB AND SLOPE AWAY FROM THE BUILDING AT A SLOPE NOT TO EXCEED 1:50. LANDINGS ARE NOT TO EXCEED 1:50 SLOPE IN ANY DIRECTION.
- CHOOSE SLOPES ON ALL SIDEWALKS AND RAMP ARE TO BE LESS THAN 1:50 WHERE SIDEWALKS INTERSECT OR CHANGE DIRECTION, THE SLOPE IN ANY DIRECTION IS NOT TO EXCEED 1:50.

LEGEND

- CONC. SIDEWALK W/ CONTROL JOINTS
- CONC. SIDEWALK W/ ALL-IN CANOPY
- RIGHT OF WAY
- CENTER LINE
- FIRE DEPARTMENT ACCESS
- FIRE HYDRANT

LOCATION MAP



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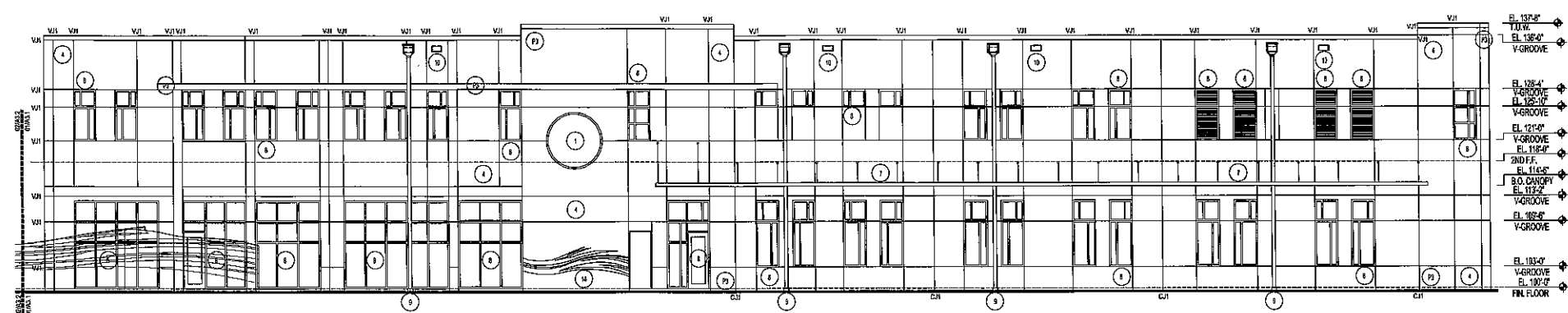
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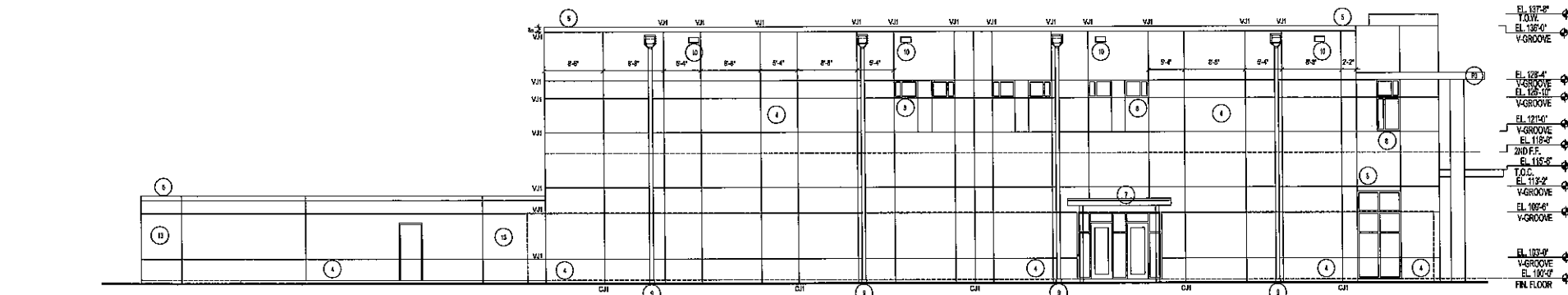
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Revised:

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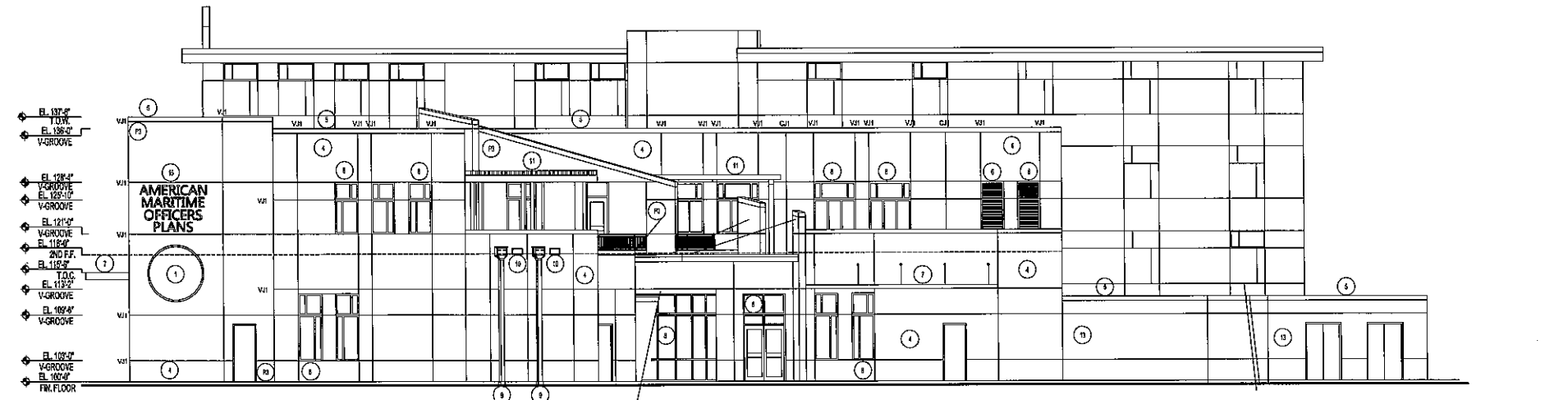
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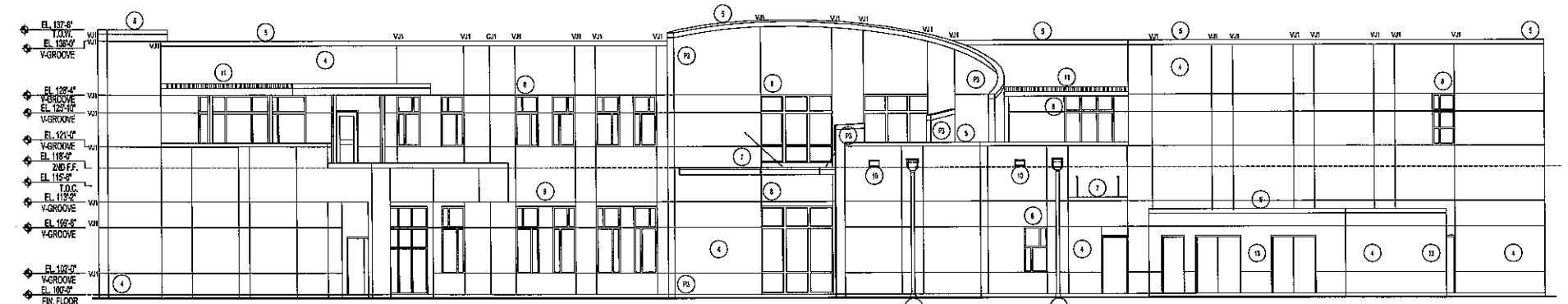
01 FRONT ELEVATION- SOUTH VIEW
SCALE: 1/8"=1'-0"



02 SIDE ELEVATION- WEST VIEW
SCALE: 1/8"=1'-0"



03 SIDE ELEVATION- EAST VIEW
SCALE: 1/8"=1'-0"



04 BACK ELEVATION- NORTH VIEW
SCALE: 1/8"=1'-0"

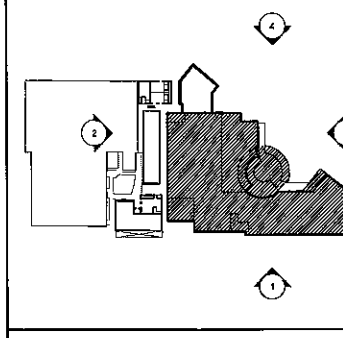
GENERAL NOTES

WHITE COLOR
P1 - RED COLOR - LIGHT MATCH EXISTING
P2 - RED COLOR / ACCENT - LIGHT MATCH EXISTING / SLIGHT GREY / TAUPE COLOR
P3 - ACCENT - MATCH BLUE LOGO / ACCENT WALLS / SEE FINISHING
ALUMINUM WINDOW / STOREFRONT / LEASER ASSEMBLY - CLEAR ANODIZED ALUM. FINISH
GLASS: LOW E / IMPACT / CLEAR WITH SLIGHT BLUE COLORATION
VJ1 & CJ1 - REFER TO A1.5 FOR DETAILS.

KEYNOTES

- 1) AMOP LOGO
- 2) ALUM. EYEBROW / CURB/WALK
- 3) MASONRY SCREEN WALL / EXISTING
- 4) GYM / STUCCO / PAINT FINISH / TYPICAL
- 5) PREFINISHED ALUM. COPING TYP.
- 6) ALUM. LEASER ASSEMBLY
- 7) ALUM. WALKWAY / COVERED ENTRY
- 8) ALUM. STOREFRONT WINDOW ASSEMBLY
- 9) 6" ALUM. D.S. W/ ALUM. CONDUCTOR HEAD TYP. SEE A2.2.
- 10) OVERFLOW SCURPER TYP. - 6" W/ A2.2.
- 11) ALUM. TRAILER ASSEMBLY
- 12) BOLLARDS
- 13) CHILLER YARD ENCLOSURE
- 14) RAISED STUCCO PATTERN DESIGN
- 15) 1/2" RAISED ALUMINUM BLOCK LETTERS

KEYPLAN



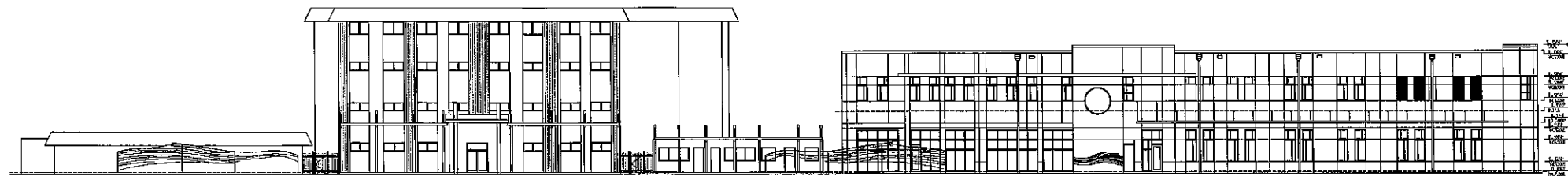
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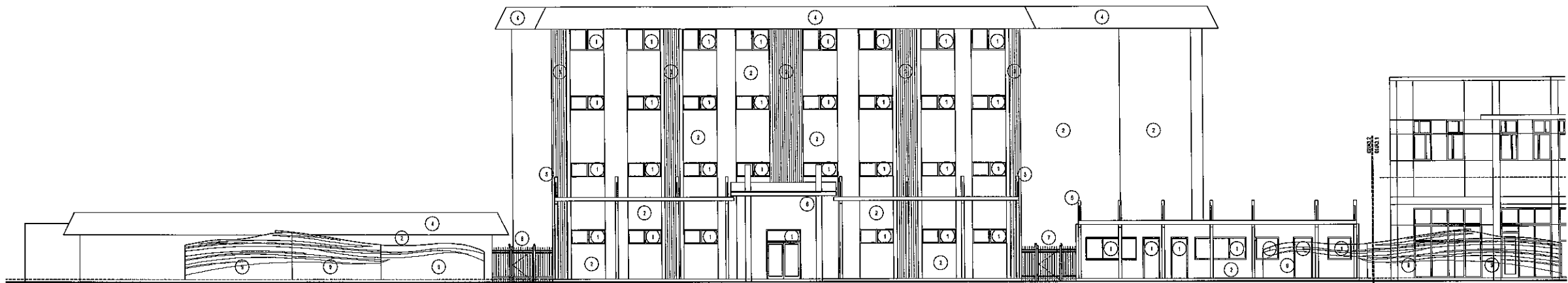
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Revit: Terrell AIA, REFP
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A3.1



01 FRONT ELEVATION- SOUTH VIEW
SCALE: 1/8"=1'-0"



02 ENLARGED FRONT ELEV.- SOUTH VIEW
SCALE: 1/8"=1'-0"

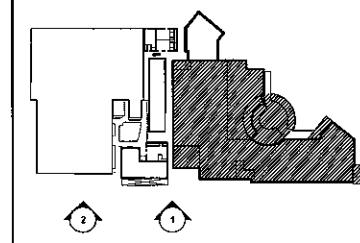
GENERAL NOTES

PAINT COLOR:
 P1-FIELD COLOR - LIGHT (MATCH EXISTING)
 P2-FIELD COLOR / ACCENT - LIGHT (MATCH EXISTING) SLIGHT GREY / TAUPE COLOR
 P3-ACCENT - MEDIUM BLUE (MATCH EXISTING) WALLS, FEE REPAIRS
 ALUMINUM WINDOW / STOREFRONT / GLAZER ASSEMBLIES - CLEAR ANODIZED ALUM FINISH
 GLASS: LOW E / IMPACT / CLEAR WITH SLIGHT BLUE COLORATION
 V1 & C1- REFER TO A.S FOR DETAILS.

KEYNOTES

- 1 EXISTING DOOR / WINDOW
- 2 PAINT EXISTING STUCCO FINISH, PATCH & REPAIR AS REQ'D.
- 3 PAINT EXISTING STUCCO ACCENT, PATCH & REPAIR AS REQ'D.
- 4 EXISTING MAISONRIE ROCK.
- 5 NEW ALUM. BALCONY CANOPY, SEE G2.1 & G2.2.
- 6 NEW CONC. ENTRY CANOPY, SEE G2.1.
- 7 NEW ORNAMENTAL FENCE, SEE G2.3.
- 8 EXISTING ORNAMENTAL FENCE, PROTECT DURING CONSTRUCTION.
- 9 NEW MASONRY SCREEN WALL, SEE G2.3.

KEYPLAN



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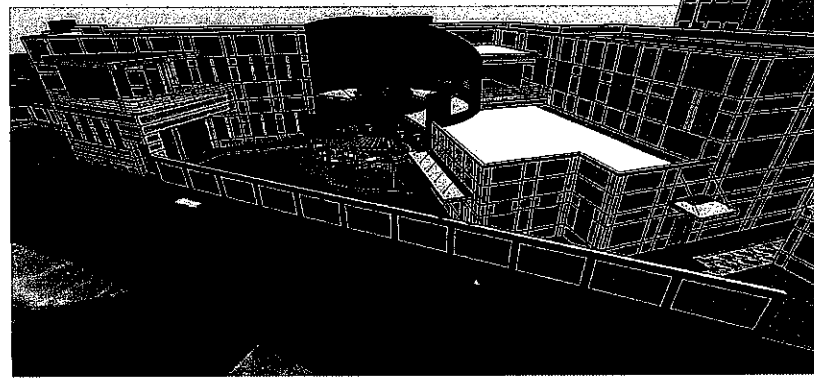
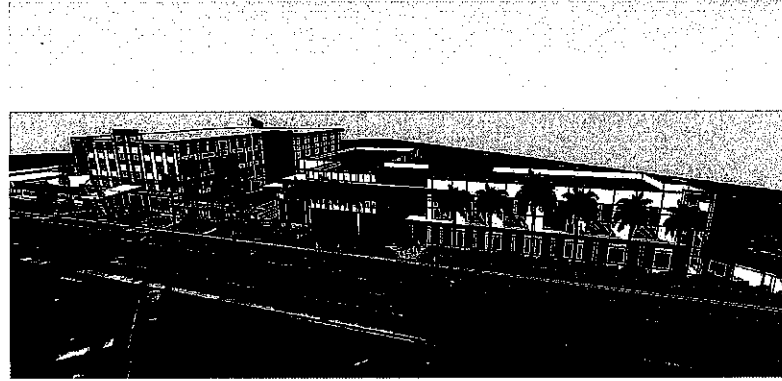
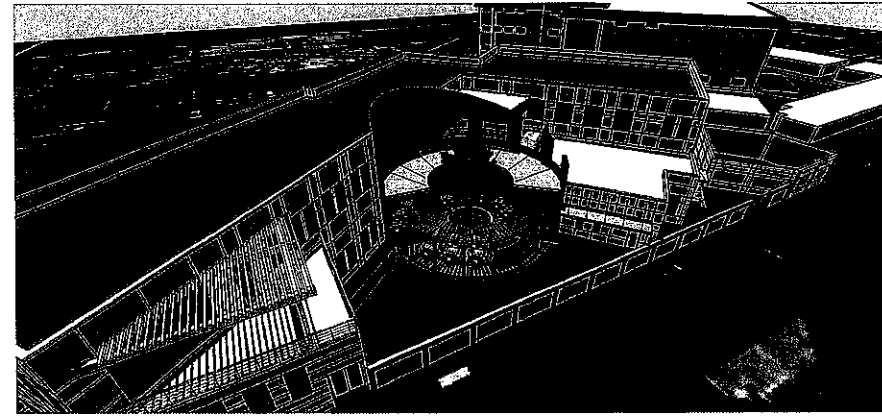
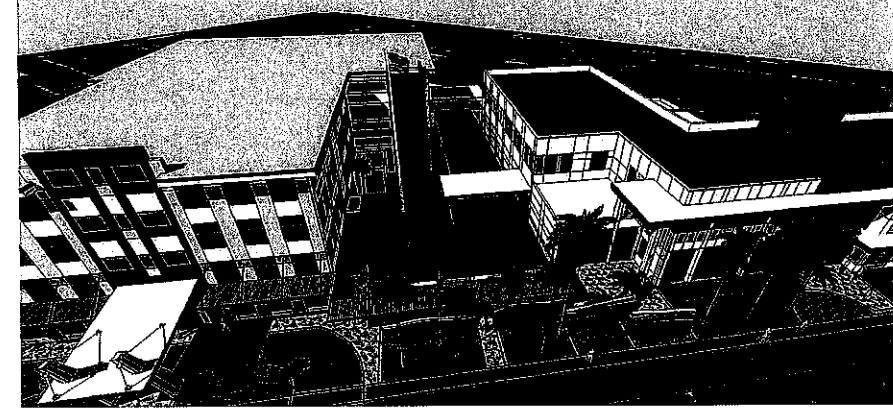
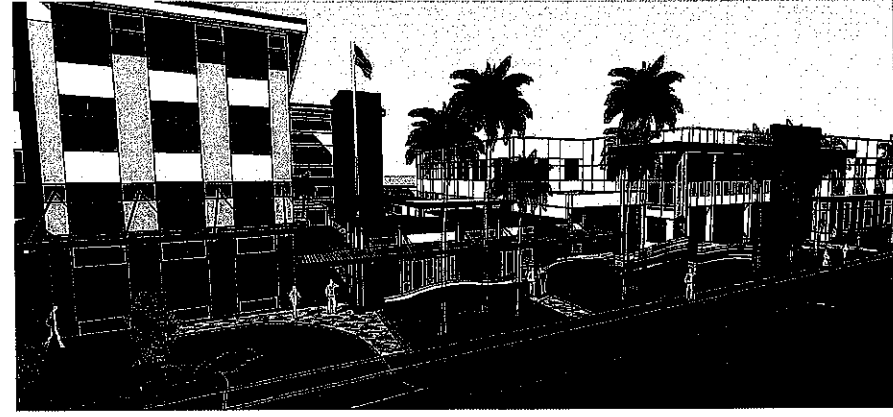
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Comm. No: 13083.00
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 Drawn:
 Revised:

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Revised: 10/23/14, RJP
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Filename: PA13083.00 - AMOP Member Services Bldg, Sheet AS3.B, Rev: 10/1/2014, Prepared By: Maria P. Rowntree



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Date: 10/01/14
Drawn: *
Revised:

TO THE BEST OF MY KNOWLEDGE, THE
PLANS AND SPECIFICATIONS CONTAINED
HEREIN ARE TRUE AND CORRECT.

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AS3.B